



MILLENNIUM
LIFESTYLE

Representative Image

A Project By



Millennium
DEVELOPERS



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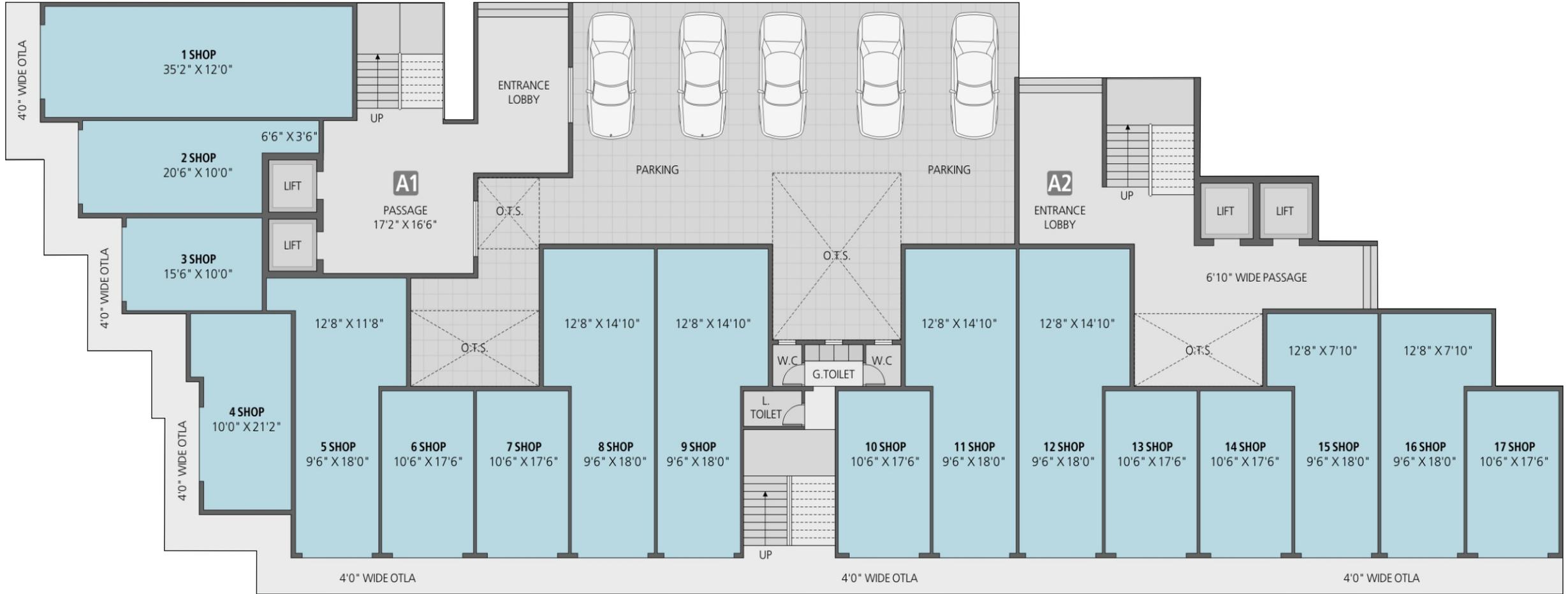
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LAYOUT PLAN



30 MT. WIDE ROAD

**GROUND FLOOR PLAN
 SHOP**



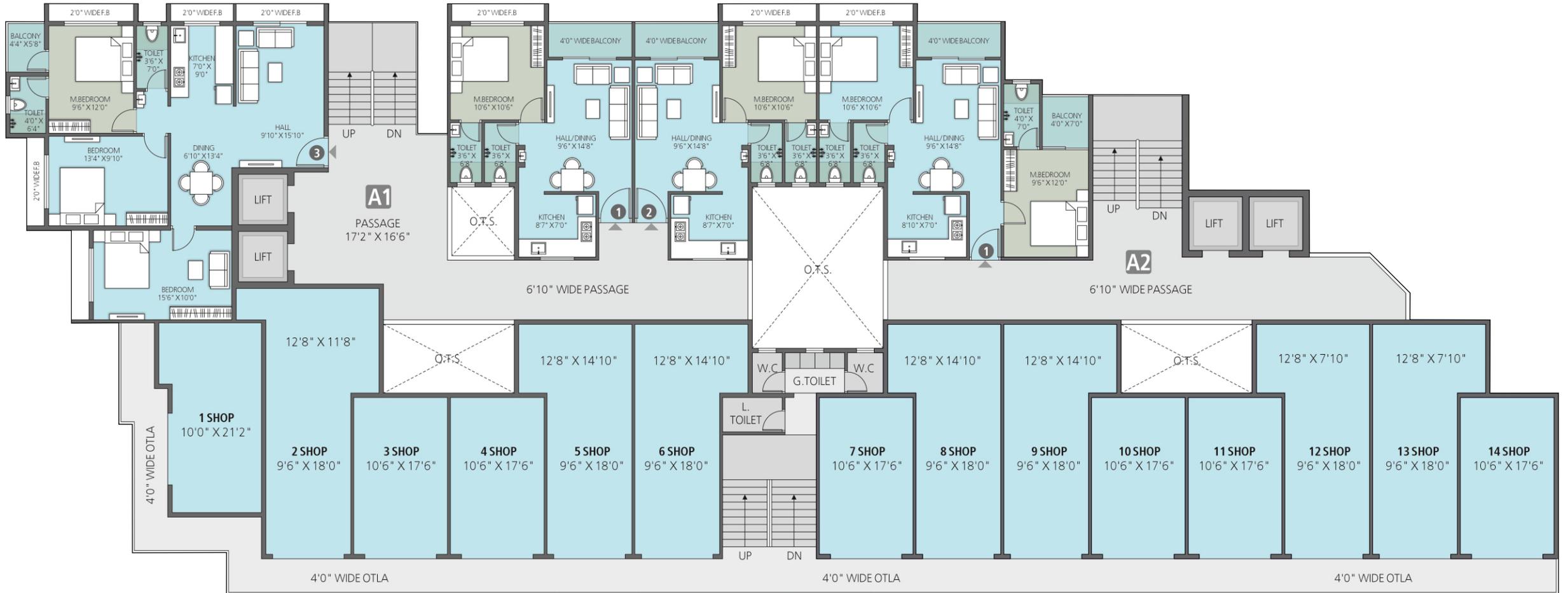
WING A1 & A2

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FIRST FLOOR PLAN SHOP & FLAT



WING A1 & A2

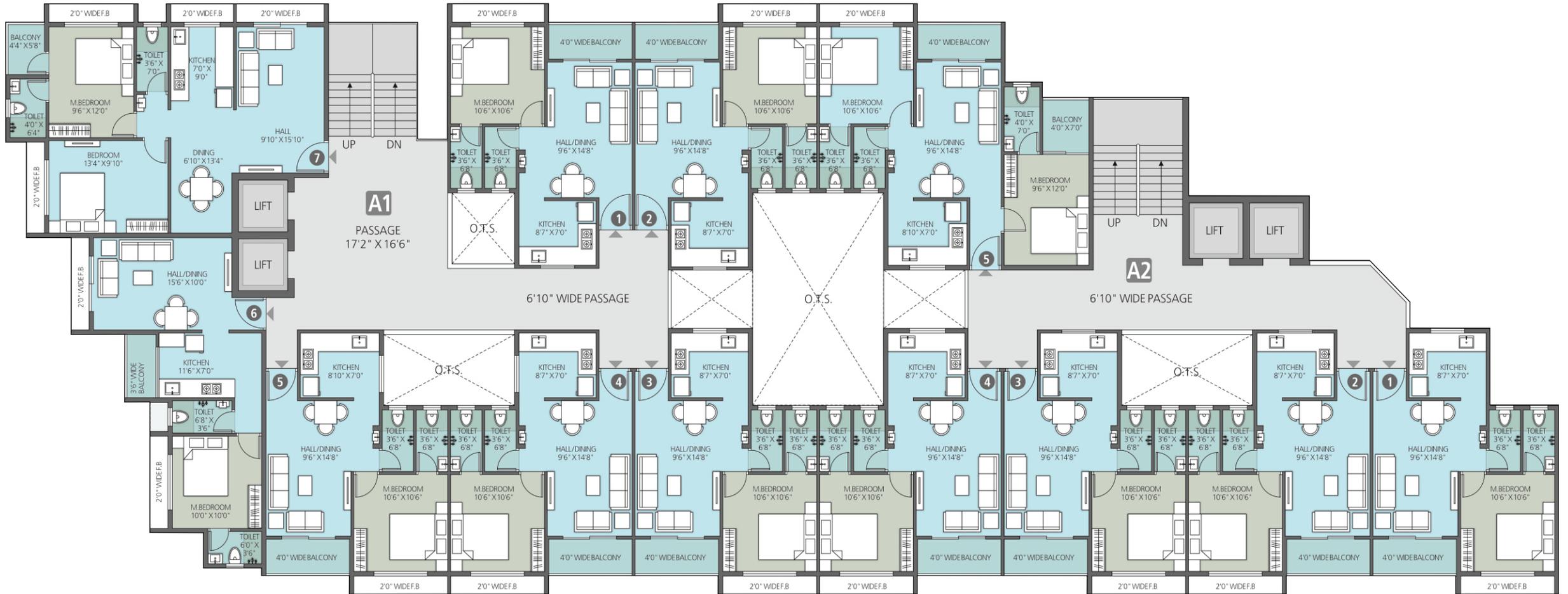
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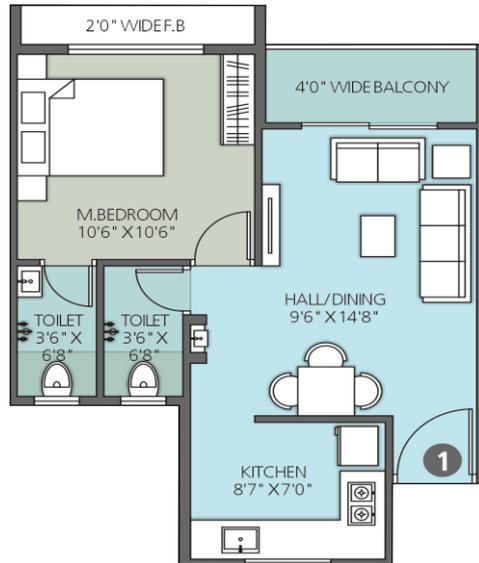
TYPICAL FLOOR PLAN



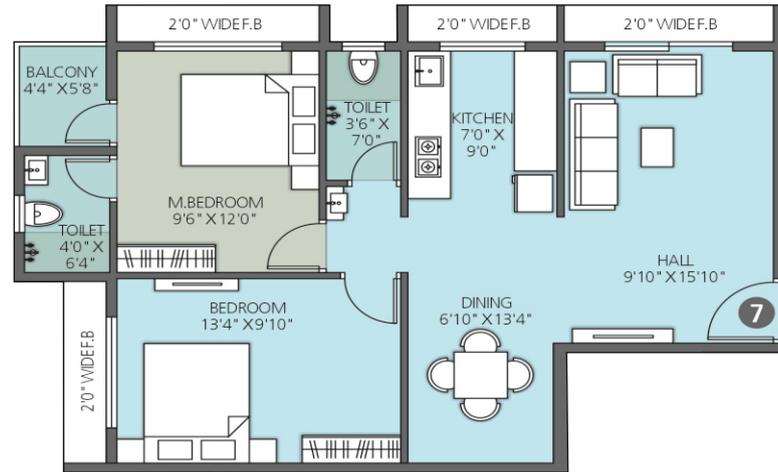
WING A1 & A2

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1 BHK UNIT PLAN



2 BHK UNIT PLAN





THE CLUB

Representative Image

INTERNAL & EXTERNAL AMENITIES

INTERNAL

STRUCTURE

- R.C.C. Structure with Earthquake Resistance Design.
- 6" Thick External Brick Wall.
- 4" Thick Internal Brick Wall.
- External Double Coat Sand Plaster.
- Internal Singal Coat Sand Plaster.

DOORS & WINDOWS

- Main Door with wooden Frame with Laminate Doors.
- Internal Flush Doors.
- Poeder Coated Aluminum Section Sliding Windows with 3.5 mm Glass with Marble Frame Window.

TOILET / PLUMBING

- Glazed Tiles Dado Up To Lintel Level & Flooring.
- Internal Concealed APVC Pipe Plumbing for Cold Water And CPVC Pipe For hot Water Plumbing.
- Good Quality Sanitaryware.
- Good Quality C.P. Fittings With Manufacture's Warranty.

KITCHEN

- Granite Platform With S.S. Sink And Over The Platform.

PAINTING

- One Coat Primer And Two Coat Exterior Emulsion on External Walls.
- Putty On Inside Walls.
- One Coat Putty One Coat Primer And Two Coat Distemper on Internal wall and Oil Paint on Railings.

FLOORING

- 2' x 2' Vitrified tiles In entire Apartments.
- 12" x 18" Ceramic tiles in bathroom toilet and wash area.

ELECTRIFICATION

- Single Face Electric Meter & Concealed Copper Wring With Electric Points With All Rooms And Kitchen.
- Provision Of TV And AC Point In Master Bedroom.
- Distribution Board With Mcbc For Seafy Protection.
- Modular Swiches & Accessories.

ELEVATOR

- Each Building Two Lift.

FIRE FIGHTING SYSTEM

- Each Building Fire Fighting System.

EXTERNAL



CLUB HOUSE



GYM



CHILDREN PLAY AREA



CCTV SYSTEM

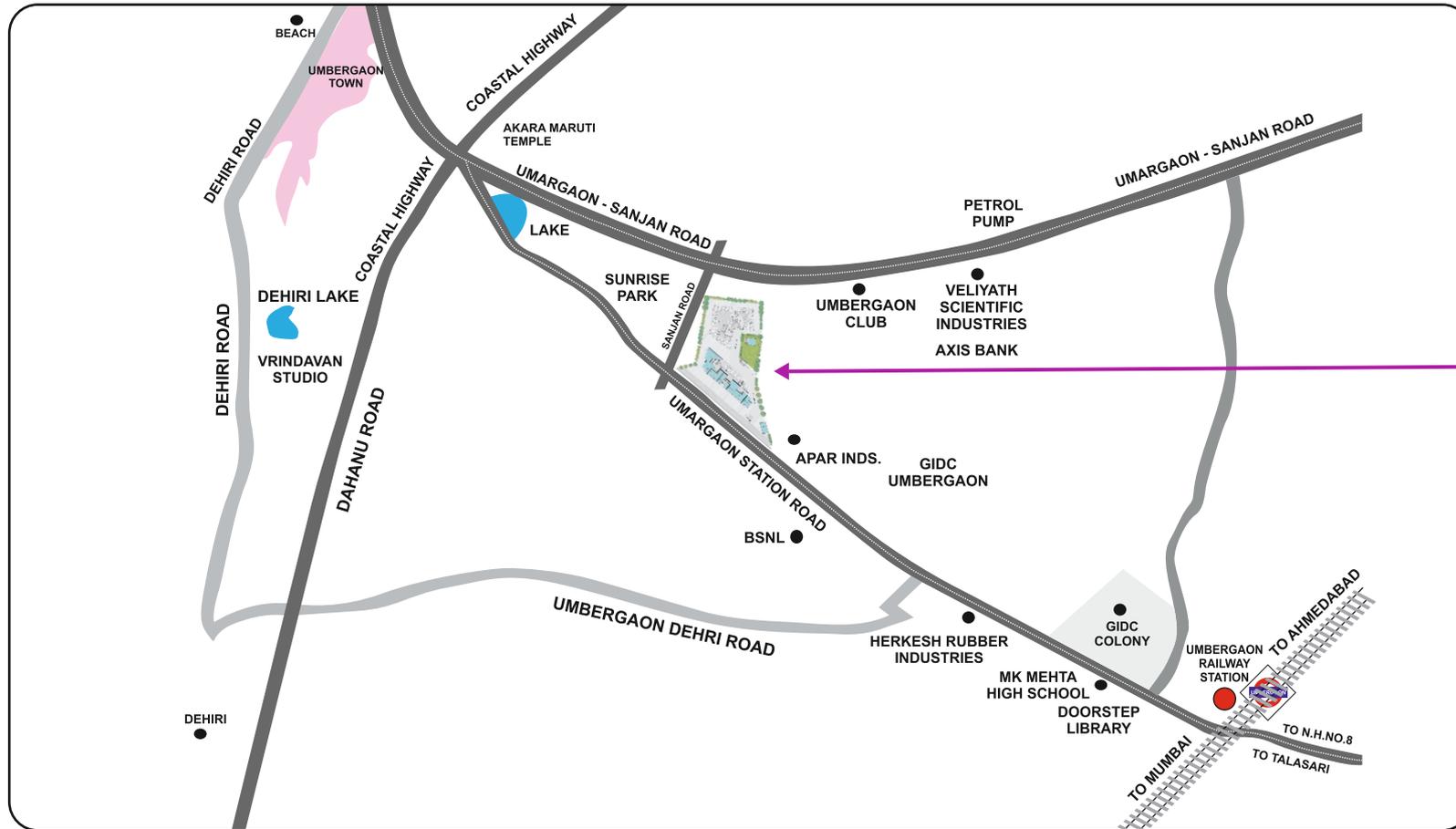


BORE WELL

NEAR BY

SCHOOL	THE AGARTHA SCHOOL	2 KM	SUPER MARKET	S3 MART	500MTR	HOSPITAL	RUDRA HOSPITAL	1.5 KM	BEACH	UMARGAON BEACH	2.25 KM	STATION	UMARGAON STATION	4 KM
	GYANKENDRA SCHOOL	2.5 KM		BIG MART	1 KM		MAMATA HOSPITAL	2 KM		BORDI BEACH	12 KM		DAHANU STATION	22 KM
	M K MEHTA SCHOOL	3 KM		CHHEDA SUPER MARKET	2.5 KM		MAHESHWARI HOSPITAL	3 KM		DHANU BEACH	27 KM		VAPI STATION	35 KM
	M B B I SCHOOL	7 KM		SPEED MART	3 KM		CHURI HOSPITAL	4 KM		DAMAN BEACH	32 KM		BORIVALI STATION	135 KM

LOCATION PLAN



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Site Address : - Millennium Developers, Millennium Lifestyle, Plot.No.87/2 (Old) 1791(New), Opp.Apex Paradise, Station Road, Umargaon (W) Dist-Valsad, State - GUJRAT.

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Vapi.



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Surat.

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Stamp Duty, Registration Charges Legal Documentation Charges, Fix Maintenance Charges DGVCL Electrical Charges Including Cable And Substation Cost Shall be borne by the Purchaser, GST, Allocated Parking charges, Taxes cess or duties levied by the Government / Local Authorities Prior, during or after the completion of the scheme will be borne by the purchaser. In the interest of the continual development in design and quality of construction, The Developers reserves all rights to make changes in the scheme, including technical specification, design, planning and layout in any stage and all the purchasers shall abide by such changes. Changes / Alteration of any nature, including the elevations, exterior color scheme of the shopping or any other change affecting the overall design concept & outlook of the scheme are strictly not permitted during or after the completion of the scheme. The Brochure is intended only to convey the essential design and technical features of the scheme and shall not be construed to form apart of the legal document. Agreement for allotment shall be final and binding to the purchaser.