

PAREENA INFRASTRUCTURE



CREATING A NEW ERA

THE PAREENA LEGACY

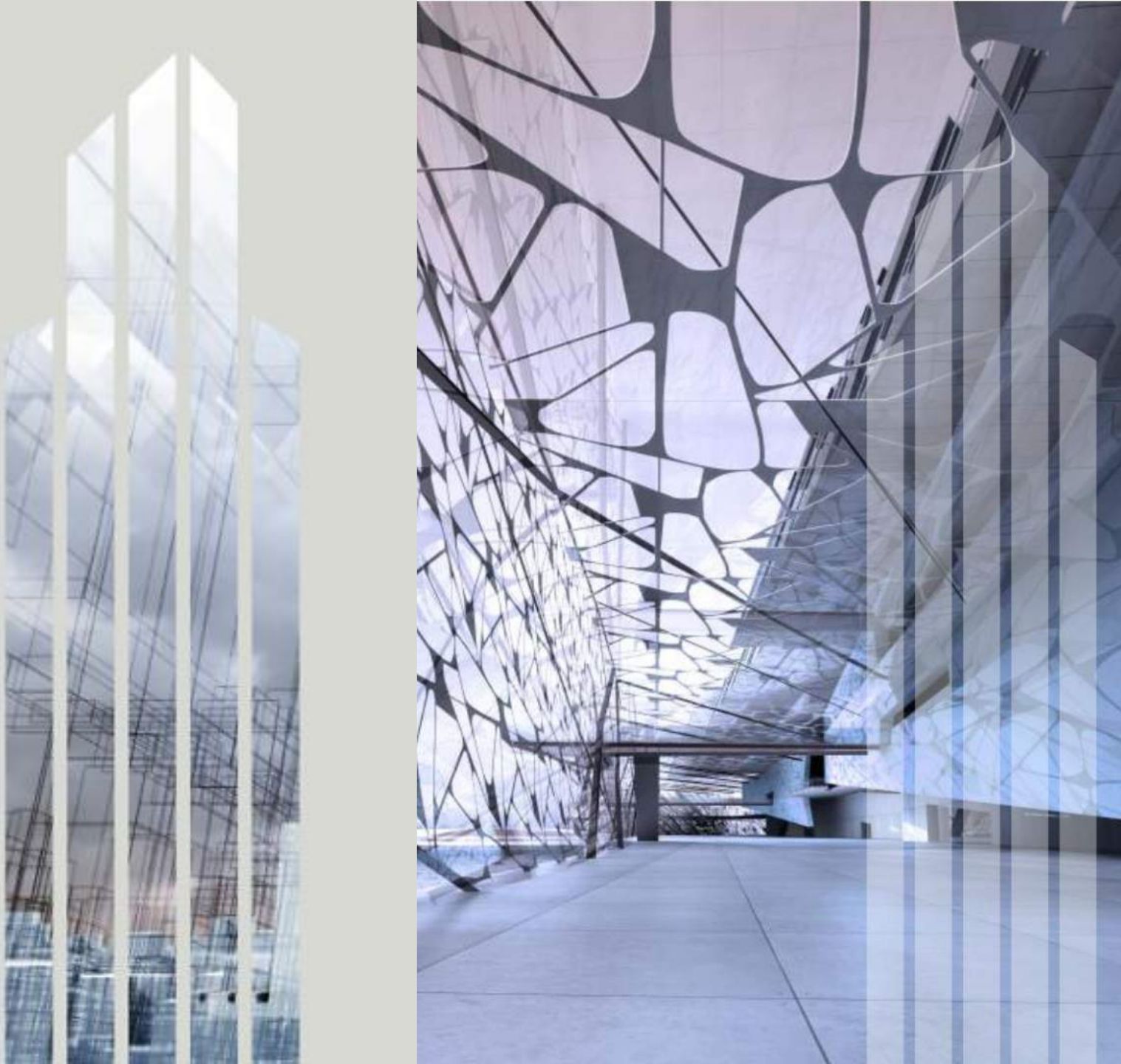
- ✓ Legacy of **THREE DECADES** in the real estate and construction industry
- ✓ **One of the very few backward integrated developers with in-house construction**
 - ✓ Constructed and delivered 9.0 Million sqft. Another 6.3 Million sqft under execution
 - ✓ Started in 1992 and constructed for other developers (Cosmos, AMR, ARN), corporates and PSUs
 - ✓ Delivered over 30 projects in multiple asset classes (residential, IT parks, offices, malls, industrial, schools) in multiple cities - Delhi, Gurugram, Greater Noida, Bhiwadi, Panipat, Kota, Jalandhar
 - ✓ Brand Pareena has delivered 4 projects. Will deliver 3 more in 2022
- ✓ **Led by Mr Surender Verma and Mr. Virender Verma**, and headquartered in Gurugram

VISION & MISSION



Create **best work environment** at our workplaces
Build a **bouquet of quality projects** for our customers
Make an enduring **network of partners & associates**
Encourage **sustainable living**
Become **nation's best quality provider**





OUR PROJECTS

9 MILLION SQFT CONSTRUCTED & DELIVERED



**Kessel-1 Valley,
Greater Noida (2.6 Million sqft)**



**Globus Knowledge Park-III,
Greater Noida(1.5 Million sqft)**



**Mittal Mega Mall,
Panipat (355,000 sqft)**



**City Mall,
Kota (290,000 sqft)**



**Pareena Laxmi Apartments, Sector 99A,
Gurugram (0.7 Million sqft)**

9 MILLION SQFT CONSTRUCTED & DELIVERED



**Pareena Towers,
Bhiwadi (220,000 sqft)**



**Pareena Bellevue Greens
Jalandhar (280,000 sqft)**



**ARSS Mall, Paschim Vihar
Delhi (96,000 sqft)**



**Hansraj Model School, Punjabi Bagh
Delhi (90,000 sqft)**



**Pareena Floors,
Gurugram (60,000 sqft)**

9 MILLION SQFT CONSTRUCTED & DELIVERED



**City Heights,
Gurugram (120,000 sqft)**



**New Arohi Society, Dwarka
Delhi (140,000 sqft)**



**Pacific Apartments, Dwarka
Delhi (110,000 sqft)**



**Antriksh Apartments, Dwarka
Delhi (300,000 sqft)**



**Raj Villas, Sector-52
Gurugram (120,000 sqft)**



**Graziano Transmission India
Greater Noida (100,000 sqft)**

ANOTHER 6.3 MILLION SQFT UNDER EXECUTION



Pareena Coban, Sector 99A, Gurugram
1.3 Million sqft; Phase 1 to be delivered in 2022



Pareena Mi Casa, Sector 68, Gurugram
1.7 Million sqft; To be delivered in 2022



Pareena Elite and Express Heights, Sector 99, Gurugram
0.6 Million sqft; To be delivered in 2022

ANOTHER 6.3 MILLION SQFT UNDER EXECUTION



Pareena Rama Homes, Sector 89, Gurugram
0.7 Million sqft; To be delivered in 2026



Pareena Om Apartments, Sector 112, Gurugram
0.7 Million sqft; To be delivered in 2024



Pareena Apartments, Sector 68, Gurugram
1.3 Million sqft; To be delivered in 2027



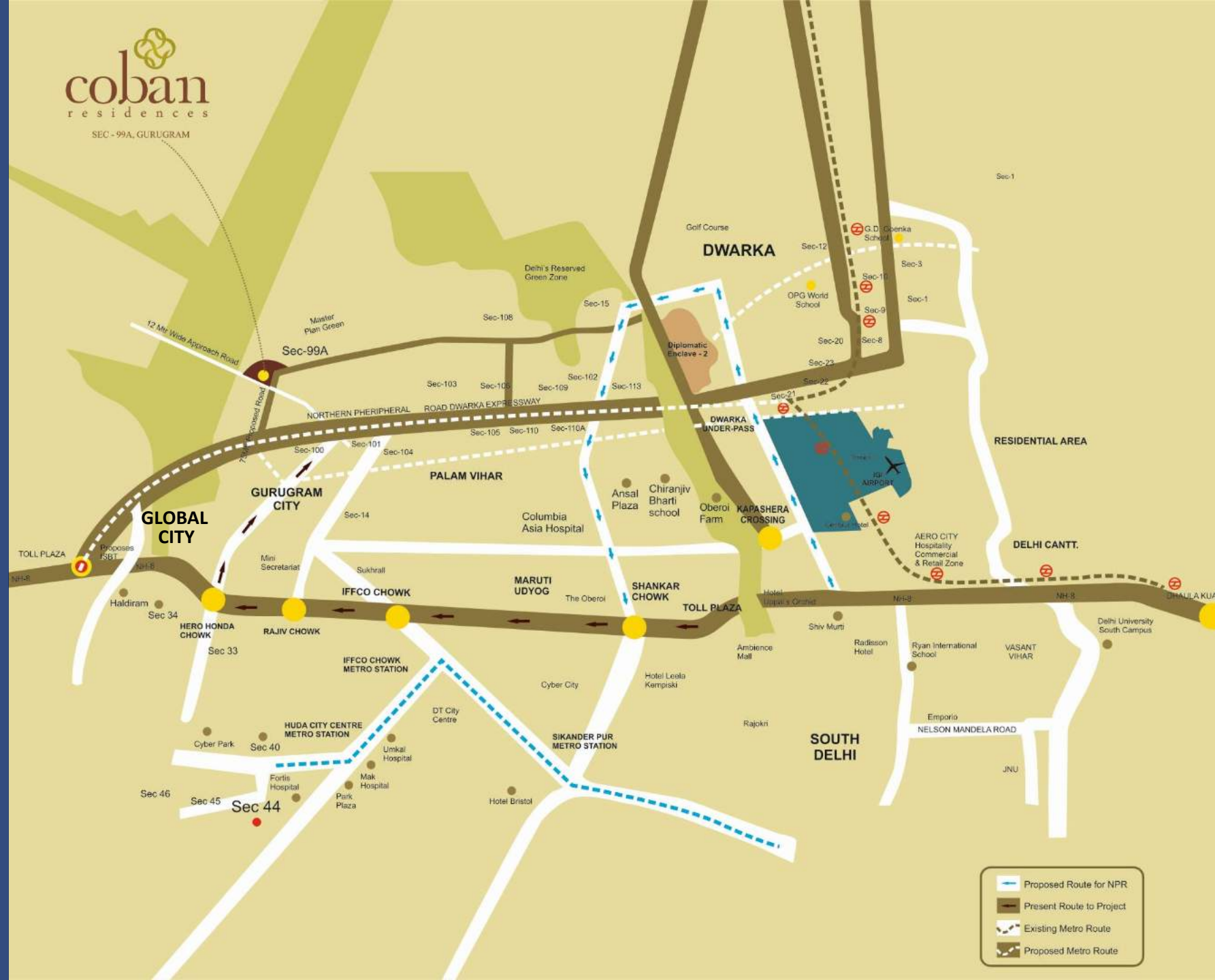
PAREENA COBAN

Sector 99A, Dwarka Expressway, Gurugram

Air Conditioned Homes

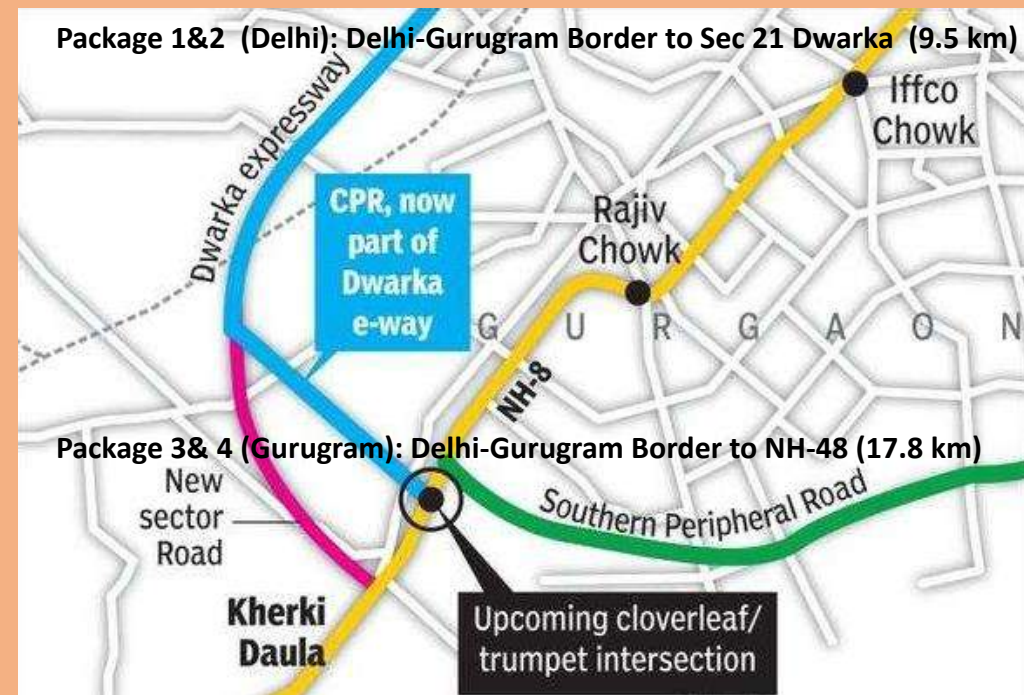
LOCATION

- ✓ Located in Sector-99A
- ✓ Opposite Commercial Belt
- ✓ 2-3 mins from Dwarka Expressway
- ✓ 2-3 mins from new planned metro
- ✓ 6-7 mins from NH-48 (earlier NH-8) and Clover Leaf (will connect NH-48, Central Peripheral Road & Southern Peripheral Road)
- ✓ 5-6 mins from Global City, future business district -1,000 acres and 120 million sqft real estate
- ✓ 25 mins from IGI Airport
- ✓ 20 mins from AIIMS Jhajjar
- ✓ 25 mins to Dwarka and the India International Convention Centre – 3 million sqft, the largest in India



OFF DWARKA EXPRESSWAY

- ✓ Largest infrastructure - 28 km signal free, 8-lane controlled access highway connecting Delhi, Gurugram & Manesar
 - ✓ **70% of Package 3 & 4 (Gurugram) to be finished by Dec-2022**
- ✓ Clover Leaf will connect CPR, SPR and NH-48
- ✓ Will have over 200 residential projects and 85,000 residents
- ✓ To have large urban forest made using Japanese Miyawaki technology
- ✓ Established social infrastructure with multiple schools, hospitals, hotels and malls
- ✓ **Limited Ready-to-Move-in inventory; Limited availability of land parcels**



DWARKA EXPRESSWAY

OFFICIAL VIDEO BY NHAI



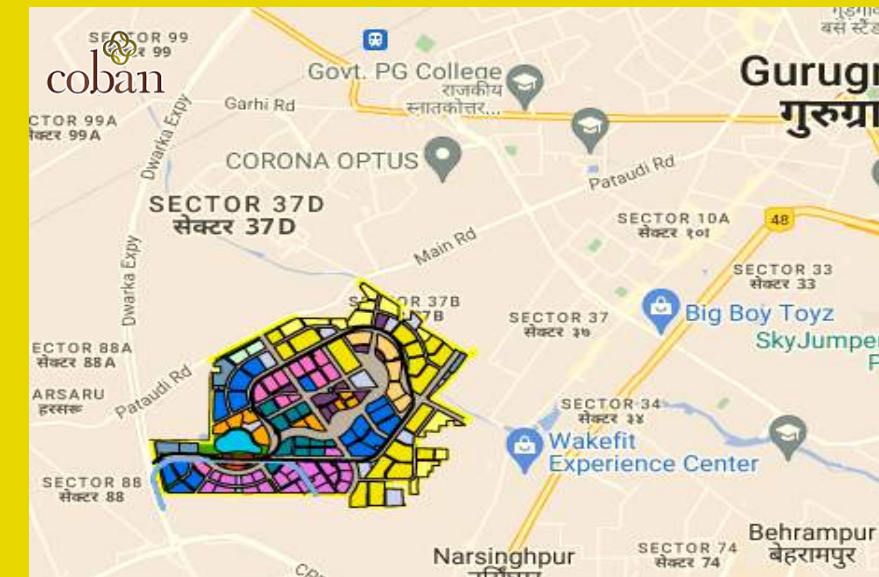
[Click Here](#)

NEAR GLOBAL CITY

- ✓ 1,000 acre township modeled on Dubai's Business Bay
- ✓ 125 million sqft of real estate – **EOIs for 1st phase of 130 acres invited in 1Q 2022**
- ✓ Hub for the new-age employment and the Services sector
- ✓ Planned residential, commercial, healthcare, and education zones
- ✓ **Biggest heli-hub of 25 acres**
- ✓ ICT based systems for traffic management and parking; City wide fiber network
- ✓ Uninterrupted power and water supply
- ✓ Single Utility Tunnel to facilitate expansion without having to dig up the roads

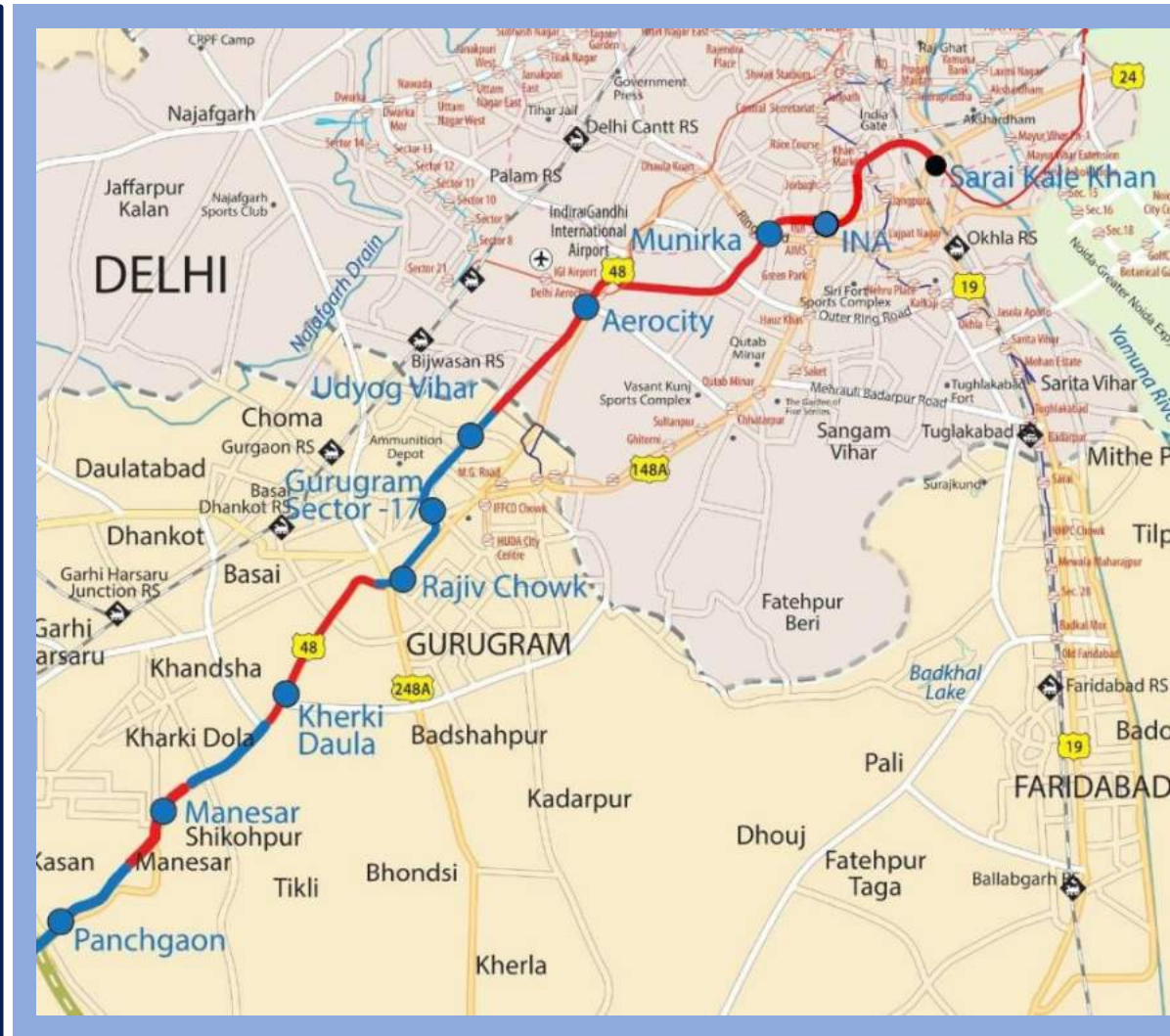
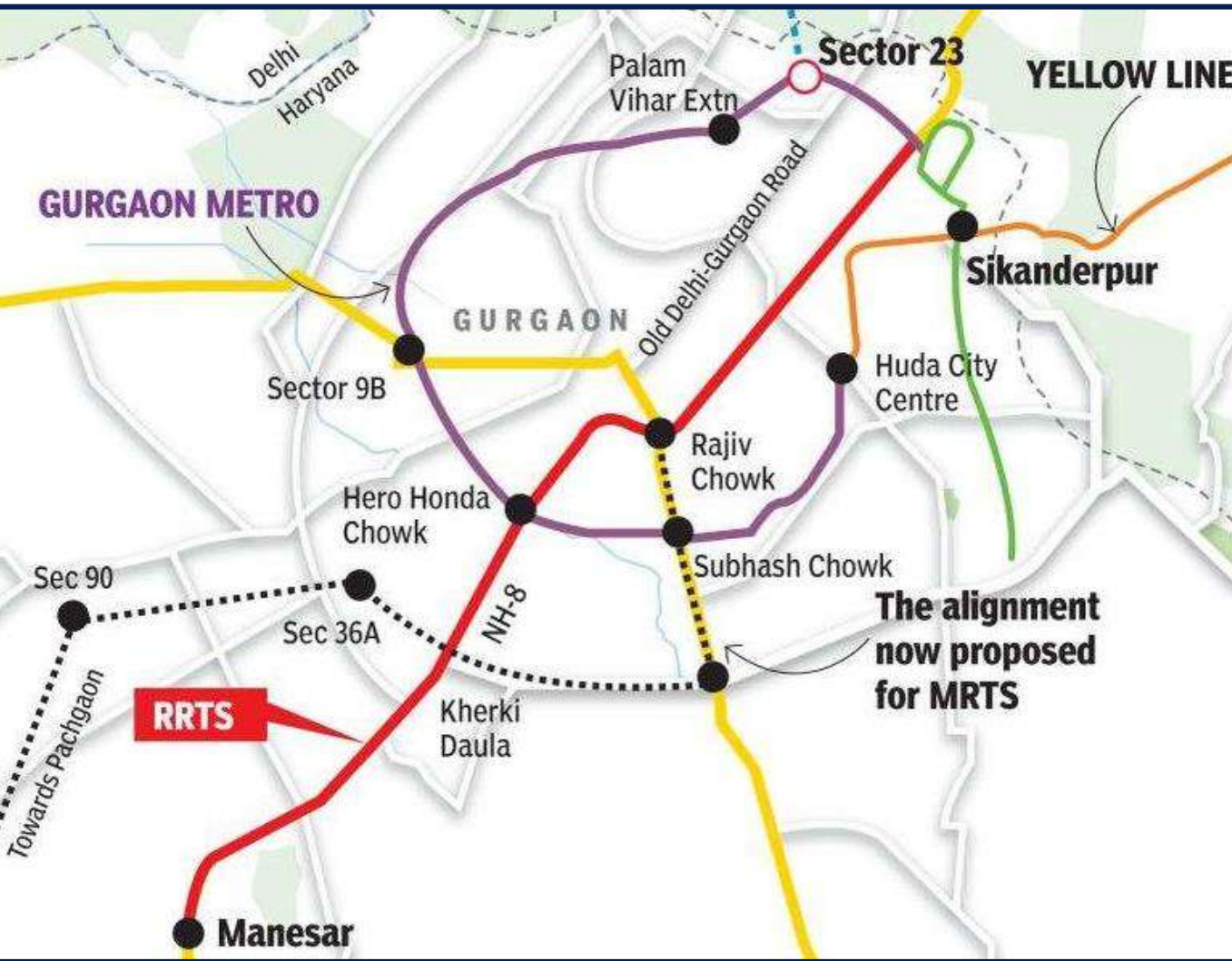


GLOBAL CITY – SECTORS 36 B, 37A, 37B



NEXT TO THE NEW METRO

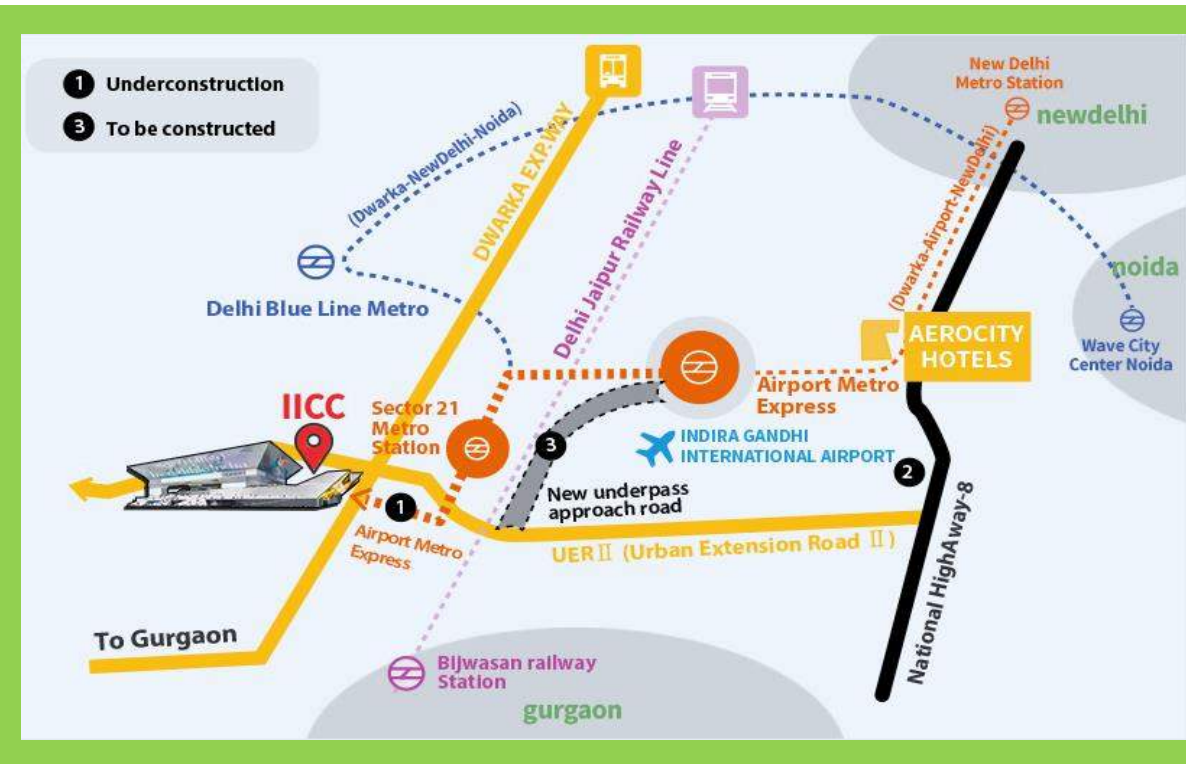
Next to the new planned metro routes – both MRTS and RRTS



NEAR INDIA INT'L CONVENTION CENTRE

- ✓ India International Centre - 221 acres of integrated development
- ✓ **11 million sqft real estate**
- ✓ Expected employment generation of 5 lakh persons
- ✓ 5 large exhibition halls, a multi-purpose convention centre
- ✓ **Largest auditorium in India; Can hold 10,000 people at a time**
- ✓ Multi-arena facilities for 6,000 people
- ✓ Parking facilities for ~ 35,000 vehicles

**221
Acres**



STRONG SOCIAL INFRASTRUCTURE



Near Sultanpur National Park

- ✓ Near Garhi Harsaru & Basai railway stations
- ✓ Near Sultanpur National Park
- ✓ 20 mins from AIIMS, Jhajjar - one of India's largest super speciality hospitals
- ✓ Other close hospitals - Sheetla Mata Medical College, Aarvy Healthcare Super Speciality, Rockland, Army Dental College, Genesis, Shri Balaji Multi Speciality
- ✓ Near renowned schools - Excellere World School, RPS, DPS
- ✓ Next to large malls and SCOs - Elan Miracle, Satya Hive, Ocus Medley, Emaar EBD 99, Emaar EBD 89 and many others
- ✓ Near renowned colleges - SGT Dental, DPG



20 mins from AIIMS Jhajjar

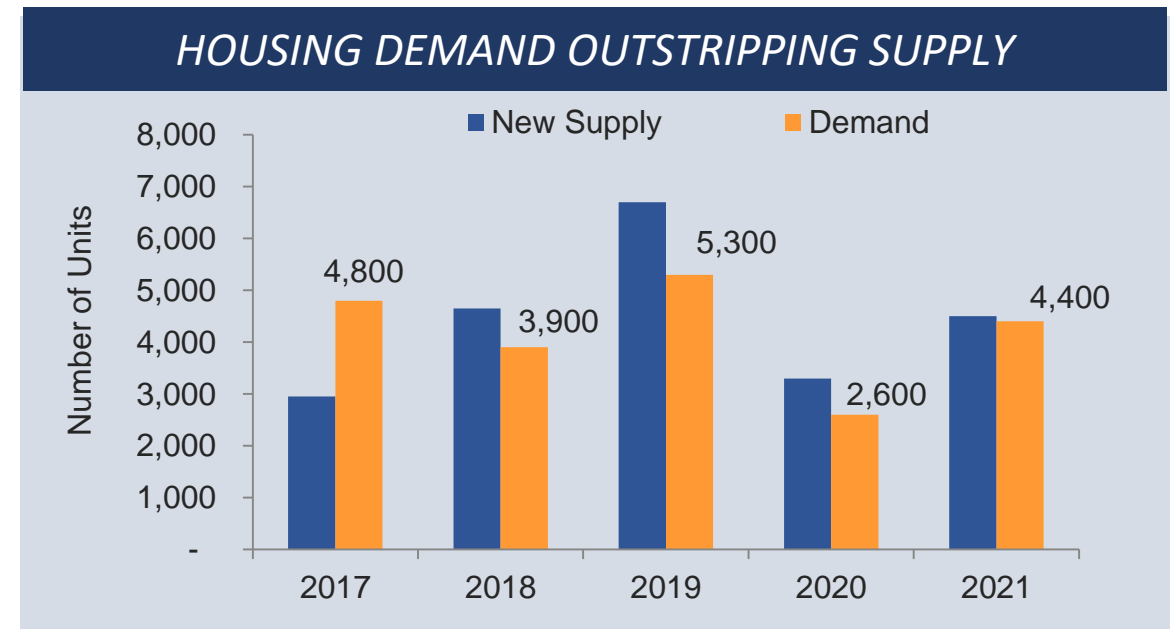
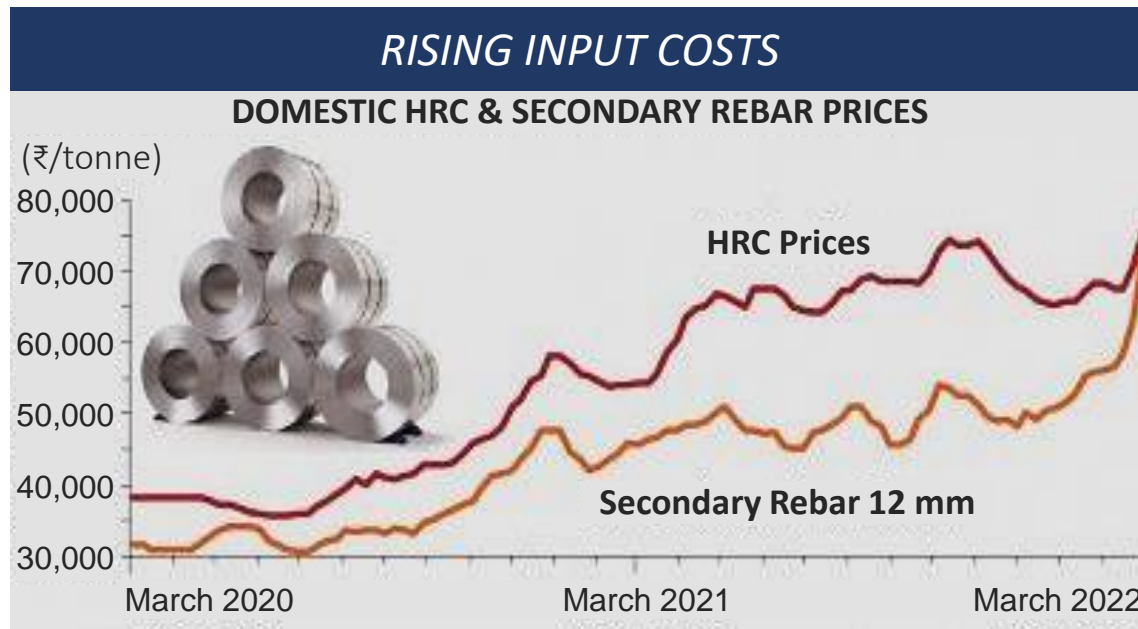
One of India's largest speciality hospitals with largest cancer treatment facility



WHY COBAN?

LIMITED RTMI ON DWARKA EXPRESSWAY

- ✓ **Low risk!**
 - ✓ Approvals in place; What you see is what you get
 - ✓ **No Rent Expense**
- ✓ High demand, limited supply
- ✓ Limited land parcels for future supply
- ✓ **Future projects would be more expensive with continuously rising input costs**
- ✓ Future supply would be denser and on 2.5-3.5 FAR (TOD)
- ✓ Ideal for Long Term Capital Gain Set-Off
- ✓ **Easier loan approval**



SUPERIOR CONSTRUCTION

- ✓ Best Quality Materials and Construction Quality
- ✓ In-house construction teams - low dependency on contractors and closer supervision and quality control

STRONGEST STEEL FOR LONG LASTING RCC STRUCTURE

GRADE: FE 500 & FE 550 D



BEST CEMENT FOR BEST STRUCTURE STRENGTH



AAC BLOCKS INSTEAD OF BRICKS

- Accurate Dimensions ✓
- Long Lasting Bond ✓
- Moisture Resistant ✓
- High Compressive Strength ✓
- High Thermal Insulation ✓
- High Sound & Fire Insulation ✓
- Termite Friendly ✓
- Eco Friendly ✓

BY JK, BIRLA

Waterproofing Best Materials 6-layer protection



Future-proofing what you build



RAK CERAMICS



complete bathroom solutions

Kajaria

INDIA'S NO.1 AND THE WORLD'S 9TH LARGEST TILE COMPANY



HIGH SPEED LIFTS

SPEED AND EFFICIENCY TO BUILD A BETTER INDIA

ELEVATORS



WIDE FRONTAGE OF 793 FEET ON 24 MTR. ROAD

24 M ROAD CONNECTS TO
DWARKA EXPRESSWAY



WELL DESIGNED PLAN WITH ~77% OPEN SPACES

Land Area: 10.5875 acres

1. Tower - A (3 & 4 BHK)
2. Tower - C (3 & 4 BHK)
3. Tower - D (3 & 4 BHK)
4. Tower - E (3 & 4 BHK)
5. Tower - B (3 & 4 BHK)
6. Tower - F (2 & 2.5 BHK)
7. Tower - F (2 & 2.5 BHK)
8. Club
9. Pond
10. Amphitheatre
11. Swimming Pool
12. Gazebo
13. Flower Bed
14. Jet Fountain
15. Children Play Area
16. E.W.S.
17. Nursery School
18. Floor Fountain
19. Main Entrance
20. Other Entry Gate
21. Glass & Wooden Pergola
22. Basketball Court
23. Lawn Tennis
24. Badminton Court
25. Shopping Complex
26. Café
27. Jogging Track

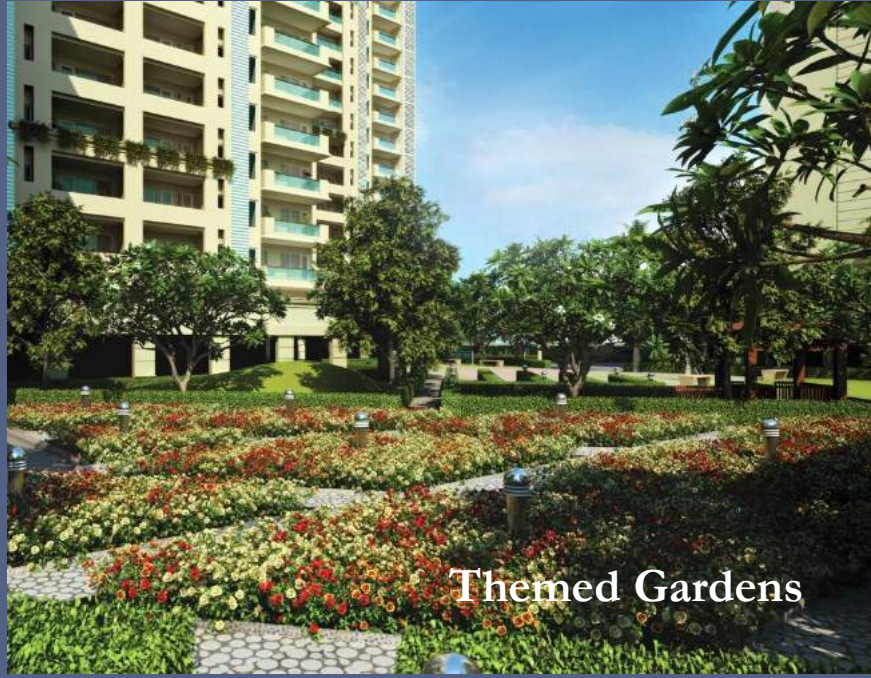
**4 UNITS PER FLOOR,
LONG BALCONIES**



PICTURESQUE LANDSCAPE



Pond



Themed Gardens



Peaceful Ambience



Hang Out Spots



Terrace Garden on Towers



Picturesque Landscaping

OUTDOOR FITNESS & FUN



Yoga



Kids Play Area



Cycling



Jogging



Basketball



Badminton



Tennis



Amphitheatre

STATE OF THE ART CLUB ESPERANZA

15,000 SQUARE FEET



Indoor built-up area ~12,180 sqft and outdoor ~3,200 sqft)

CLUB ESPERANZA AMENITIES

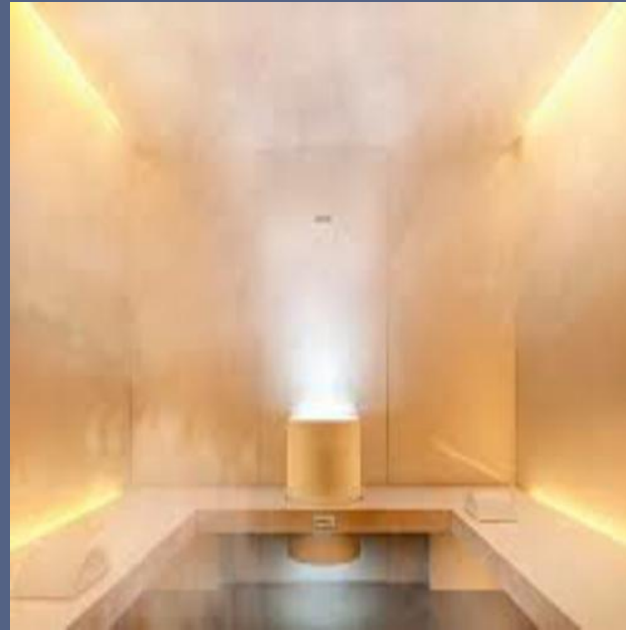


Gymnasium



Carrom

Table Tennis



Steam/Sauna

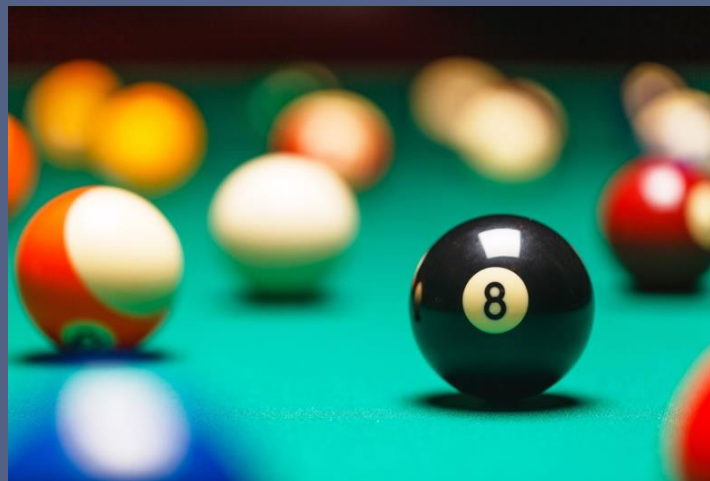


Creche

Restaurant



Cards



Pool



GREEN & GOLD

IGBC GOLD PRE-CERTIFICATION



Electric Car Charging Points



Low VOC Paints



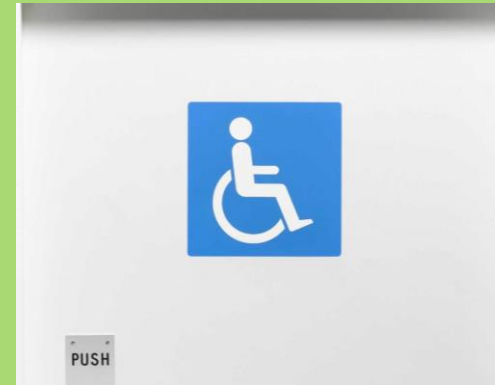
Solar Water Heating



Rainwater Harvesting



Drip Irrigation



Washrooms for Disabled
Ramp with Handrail



Solar Water Heating



SPECIFICATIONS & FLOOR PLANS

Air Conditioned Homes

PREMIUM SPECIFICATIONS

LIVING/DINING ROOM

- ✓ Flooring: Vitrified Tiles (Double Charge)
- ✓ Wall: Oil Bound Distemper (Low VOC Paints)
- ✓ Ceiling: POP Cornice
- ✓ Doors: Hardwood Frame & Flush Door Finished with Paint
- ✓ Main Entrance Door: Decorative Flush Door with veneer (in design pattern) and polish
- ✓ Windows/Glazing: UPVC/ Hardwood with matching fitting
- ✓ Electricals: Modular switches, TV and Telephone Socket

MASTER & OTHER BED ROOMS

- ✓ Flooring (Master Bedroom): Laminated Wooden
- ✓ Flooring (Other Bedrooms): Vitrified Tiles (Double Charge)
- ✓ Wall: Oil Bound Distemper (Low VOC Paints)
- ✓ Ceiling: POP Cornice
- ✓ Door: Hardwood Frame & Flush Door Finished with Paint
- ✓ Windows/Glazing: Hardwood/UPVC with matching fitting
- ✓ Electricals: Modular switches, TV and Telephone Socket



Note: Double charge tiles are more durable, more resistant to scratches and stains and accumulate less dust, versus simply vitrified tiles

SPECIFICATIONS

OTHERS

- ✓ Structure: RCC, earthquake resistant for Seismic Zone 4
- ✓ Intercom System
- ✓ **Split A/C in Living, Dining & Bedrooms**
- ✓ **Granite Flooring in Lift Lobbies and Staircases**
- ✓ **Lifts: High-speed (Mitsubishi)**
- ✓ External Walls: Texture, UV & Weather Resistant exterior paint

STAFF ROOM & WASHROOM

- ✓ Flooring : Ceramic Tiles
- ✓ Wall and Ceiling: Oil Bound Distemper
- ✓ Door: Hardwood Frame & Flush Door Finished with Paint
- ✓ Windows/Glazing: Hardwood/UPVC with matching fitting
- ✓ Electricals: Modular switches, TV and Telephone Sockets
- ✓ Washroom: Ceramic Tiles Flooring, CP Fittings

BALCONY

- ✓ Flooring : Ceramic Decorative Tiles
- ✓ Wall: Semi Permanent Long Lasting Finish
- ✓ Door: Flush Door/UPVC
- ✓ Windows/Glazing: Hardwood/UPVC with matching fitting
- ✓ Electricals: Modular switches

KITCHEN

- ✓ **Modular Kitchen**
- ✓ Flooring : Ceramic Tiles
- ✓ Wall: Ceramic Tiles upto 2' Height above Kitchen Platform
- ✓ Ceiling: Oil Bound Distemper (Low VOC Paints)
- ✓ Door: Hardwood Frame & Flush Door Finished with Paint
- ✓ Windows/Glazing: Hardwood/UPVC with matching fitting
- ✓ Platform: Pre-polished Granite Platform with Stainless Steel Sink
- ✓ Fittings/Fixtures: CP Fittings; Electricals: Modular switches

WASHROOMS

- ✓ Flooring : Ceramic Tiles
- ✓ Wall: Ceramic Tiles upto 8' Height
- ✓ Ceiling: Oil Bound Distemper (Low VOC Paints)
- ✓ Door: Hardwood Frame & Flush Door Finished with Paint
- ✓ Windows/Glazing: Hardwood/UPVC with matching fitting
- ✓ Sanitaryware/CP Fittings: CP Fittings, European Style with branded Chrome Plated Brass Fittings (white/colour)
- ✓ Electricals: Modular switches



2BHK + STUDY

| SUPER AREA | RERA CARPET AREA | EXCLUSIVE AREA |
|---|------------------------|----------------------------|
| 1,550 Sqft (144.0 Sqm) | 916 Sqft (85.1 Sqm) | 1,131 Sqft (105.07 Sqm) |
| <ul style="list-style-type: none"> ✓ RERA Carpet to Super Area Efficiency: ~60% versus 50-57% as per current market trend ✓ Exclusive Area to Super Area Efficiency: ~73% versus 65-68% as per current market trend | | |



3BHK + POWDER ROOM + STAFF ROOM & WC

| SUPER AREA | RERA CARPET AREA | EXCLUSIVE AREA |
|--|----------------------------|----------------------------|
| 1,997 Sqft (185.53 Sqm) | 1,220 Sqft (113.34 Sqm) | 1,533 Sqft (142.42 Sqm) |
| <ul style="list-style-type: none"> ✓ RERA Carpet to Super Area Efficiency: ~61% versus 50-57% as per current market trend ✓ Exclusive to Super Area Efficiency: ~77% versus 65-70% as per current market trend | | |



4BHK + POOJA + STORE + STAFF ROOM & WC

| SUPER AREA | RERA CARPET | EXCLUSIVE AREA |
|--|----------------------------|----------------------------|
| 2,352 Sqft (218.51 Sqm) | 1,465 Sqft (135.92 Sqm) | 1,776 Sqft (164.99 Sqm) |
| <ul style="list-style-type: none"> ✓ RERA Carpet to Super Area Efficiency: ~62% compared with 50-55% as per market trend ✓ Exclusive to Super Area Efficiency: ~76% compared with 65-70% as per market trend | | |

PRICING & PAYMENT PLANS



EASY PAYMENT PLANS

30:70 POSSESSION LINKED PLAN

| | |
|-------------------------------------|--|
| On Booking | INR 5,00,000 |
| Within 45 days from Booking | 30% of Total Sales Consideration (less the Booking Amount) |
| On Receiving Occupation Certificate | 30% of Total Sales Consideration |
| On Offer of Possession: | 40% balance of Total Sales Consideration |

50:50 PLAN

| | |
|-------------------------------------|--|
| On Booking | INR 5,00,000 |
| Within 30 days from Booking | 10% of Total Sales Consideration (less the Booking Amount) |
| Within 45 days from Booking | 40% of Total Sales Consideration |
| On Receiving Occupation Certificate | 25% of Total Sales Consideration |
| On Offer of Possession | 25% balance of Total Sales Consideration |

ATTRACTIVE PRICING

| Typology | Super Area | RERA Carpet Area | Exclusive Area | Total Price (INR) |
|--|----------------------------|----------------------------|----------------------------|-------------------|
| 2 BHK + STUDY | 1,550 Sqft (144.0 Sqm) | 916 Sqft (85.1 Sqm) | 1,131 Sqft (105.07 Sqm) | 96,87,500 |
| 3 BHK+ POWDER ROOM + STORE + STAFF ROOM & WC | 1,997 Sqft (185.53 Sqm) | 1,220 Sqft (113.34 Sqm) | 1,533 Sqft (142.42 Sqm) | 1,24,81,250 |
| 4BHK + POOJA + STORE + STAFF ROOM & WC | 2,352 Sqft (218.51 Sqm) | 1,465 Sqft (135.92 Sqm) | 1,776 Sqft (164.99 Sqm) | 1,47,00,000 |

OTHER CHARGES

| | |
|-------------------------------------|---|
| PLC (Preferential Location Charges) | Floors- 1 to 10 – 200 per Sqft, Floors- 11 to 20 – 100 per Sqft |
| GST | 5% |
| IFMS | INR 50 per Sqft |
| Registry Charges & Stamp Duty | As per Actuals |

THANK YOU



Book Today!
1800 889 0367

NOTES FOR PRICING

- ✓ BBA Registration Fees, Stamp Duty and Registration fees, GST and pass-through possession-related charges (for utilities – electrical connection and meters, Gas pipeline, Association formation charges) will be over and above the price list
- ✓ Price List is indicative and subject to revision at the discretion of the company
- ✓ Pay Order/ Draft / Cheque to be issued in the name of "Pareena Infrastructures Pvt Ltd Coban Residences Phase | Master Collection"
 - ✓ Escrow A/C - 57500000420659
 - ✓ IFSC Code - HDFC0003648
 - ✓ Branch - JMD Mega Polis, Sohna Road, Gurugram, Haryana
 - ✓ Bank - HDFC Bank Limited
- ✓ TDS as per Govt. norms to be deducted by the allottee and certificates to be provided by the allottee to the company in a timely manner
- ✓ PROJECT HARERA NO: 35 of 2020

LEGAL DISCLAIMER

Coban Residences has been registered via HARERA with registration number RC/REP/HARERA/GGM/419/151/2020/35 and is available on the website [http://harera.in/under registered projects](http://harera.in/under%20registered%20projects). | The License No. 10 of 2013 issued in name of Monex Infrastructure Pvt Ltd. Further Town & Country Planning Department Haryana has granted permission vide Endst. No. LC-2753/Asstt(AK)/2020/16642 dated 18-09-2020, issued qua Joint Development rights Marketing Rights in favour of company for 10.5875 acres in respect of Group Housing Colony under license no.10 of 2013 dated 12.03.2013 for 10.5875 acres. | Building Plan Approval vide Memo No.: ZP-882/SD(BS)/2013/47004 dated 25.07.2013. Coban Residences is Group Housing Colony in Sector 99A, Gurugram, Haryana, India and is being developed by Pareena Infrastructures Pvt. Ltd. on land admeasuring 4.28461 hectares (ha) (10.5875 acres) owned by M/s Monex Infrastructure Pvt Ltd. (“Company”). Coban Residences consists of 544 no. of residential units/apartments, 96 no. EWS units, convenience shopping and community center/club. This advertisement contains artistic impressions and no warranty is expressly or impliedly given that the completed development will comply in any degree with such artist’s impression as depicted. The furniture, accessories, items, goods, additional fittings/fixtures, decorative items including finishing materials, specifications, shades, sizes and colour of the files, etc. shown in the image are only indicative in nature and are only for the purpose of illustrating/indicating a conceived layout and do not form part of the standard specifications/amenities/services to be provided. All plans and images shown in the advertisement is indicative and are subject to changes at the discretion of the Company or competent authorities. The Company shall not assume any responsibility of information provided by third parties and reliance shall be placed only on the information provided on the Company’s official website i.e. www.pareena.in. The project land has been mortgaged to M/s Catalyst Trusteeship Limited, Debenture Trustee, appointed to secure Non-convertible Debentures (NCDs) issued by developer and NOC will be provided, if required, for sale, transfer and conveyance of the apartments/units to be constructed on the project land. Please note that some of the infographics and stock pictures used in this presentation have been obtained from publicly accessible web sources. The infographics and pictures are for reference purposes only and not meant for any commercial gain/purposes. The Company has not infringed any third party intellectual property rights and it will not be liable if the user of this presentation misuses the pictures and infographics in any manner.