

Real Estate Real Values...

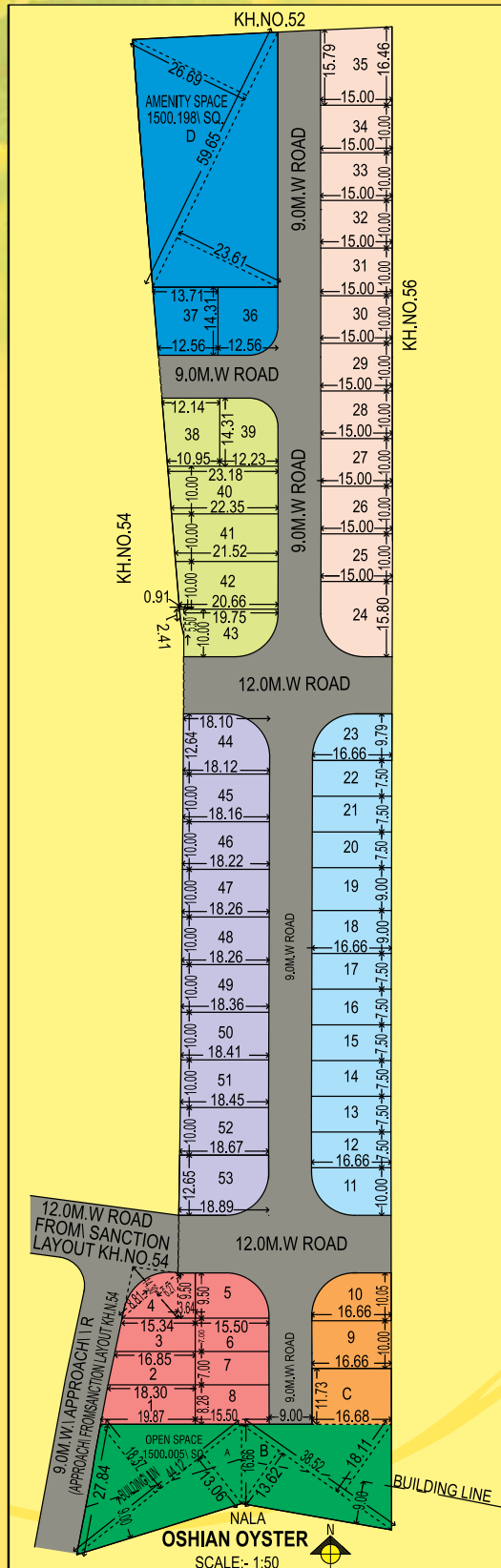
COSHIAN'S
Oyster
Hidden Splendour

Live
Harmoniously



a project by

COSHIAN
REALTORS INDIA PVT. LTD.



PLOT NO	PLOT SIZE							PLOT AREA TANGENTS		TOTAL PLOT	NA/A X'	NET PLOT AREA FOR FSI (SQ.M)	NO. OF PLOT	NET AREA IN SQ.M.	NET PLOT AREA FOR FSI (SQ.M)	ADDITIONAL FSI (SQ.M)	TOTAL ADD. FSI (SQ.M)	AREA IN SQ.FT.				
A	1/2	19.87	X	19.87	B	18.3	19.085	X	8.28	=	158.024	0	158.024	X	1.451	G=E*F	H	I=E*H	J=G*H	K=E*Y	L=K*H	
1	1/2	18.30	X	18.30	+	16.85	17.575	X	7.00	=	123.025	0	123.025	X	1.451	229.293	1	158.024	229.293	5.215	5.215	1700.970
2	1/2	16.85	X	16.85	+	15.34	16.095	X	7.00	=	112.665	0	112.665	X	1.451	178.509	1	123.025	178.509	4.060	4.060	1324.241
3	1/2	8.81	X	8.81	+	6.27	7.54	X	14.30	=	107.822	17.35	125.052	X	1.451	163.477	1	112.665	163.477	3.718	3.718	1212.726
4	1/2		X		+		3.64	X	9.50	=			34.580			181.450	1	125.052	181.450	4.127	4.127	1346.060
5			X		+		9.5	X	15.50	=	147.250	17.35	129.900	X	1.451	188.485	1	129.900	188.485	4.287	4.287	1398.244
6 to 7			X		+		7.00	X	15.50	=	108.500	0	108.500	X	1.451	157.434	2	217.000	314.867	3.581	7.161	1167.894
8			X		+		8.28	X	15.50	=	128.340	0	128.340	X	1.451	186.221	1	128.340	186.221	4.235	4.235	1381.452
9			X		+		10.00	X	16.66	=	166.600	0	166.600	X	1.451	241.737	1	166.600	241.737	5.498	5.498	1793.282
10			X		+		10.05	X	16.66	=	167.433	17.35	150.083	X	1.451	217.770	1	150.083	217.770	4.953	4.953	1615.493
11			X		+		10.00	X	16.66	=	166.600	17.35	149.250	X	1.451	216.562	1	149.250	216.562	4.925	4.925	1606.527
12 to 17			X		+		7.50	X	16.66	=	124.950	0	124.950	X	1.451	181.302	6	749.700	1087.815	4.123	24.740	1344.962
18 to 19			X		+		9.00	X	16.66	=	149.940	0	149.940	X	1.451	217.563	2	299.880	435.126	4.948	9.896	1613.954
20 to 22			X		+		7.50	X	16.66	=	124.950	0	124.950	X	1.451	181.302	3	374.850	543.907	4.123	12.370	1344.962
23			X		+		9.79	X	16.66	=	163.101	17.35	145.751	X	1.451	211.485	1	145.751	211.485	4.810	4.810	1568.864
24			X		+		15.80	X	15.00	=	237.000	17.35	219.650	X	1.451	318.712	1	219.650	318.712	7.248	7.248	2364.313
25 to 34			X		+		10.00	X	15.00	=	150.000	0	150.000	X	1.451	217.650	10	1500.000	2176.500	4.950	49.500	1614.600
35	1/2	15.79	X	15.79	+	16.46	16.125	X	15.00	=	241.875	0	241.875	X	1.451	350.961	1	241.875	350.961	7.982	7.982	2603.543
36			X		+		12.56	X	14.31	=	179.734	7.72	172.014	X	1.451	249.592	1	172.014	249.592	5.676	5.676	1851.559
37	1/2	13.71	X	13.71	+	12.56	13.135	X	14.31	=	187.962	0	187.962	X	1.451	272.733	1	187.962	272.733	6.203	6.203	2023.223
38	1/2	12.14	X	12.14	+	10.95	11.545	X	14.31	=	165.209	0	165.209	X	1.451	239.718	1	165.209	239.718	5.452	5.452	1778.310
39			X		+		12.23	X	14.31	=	175.011	7.72	167.291	X	1.451	242.740	1	167.291	242.740	5.521	5.521	1800.720
40	1/2	23.18	X	23.18	+	22.35	22.765	X	10.00	=	227.650	0	227.650	X	1.451	330.320	1	227.650	330.320	7.512	7.512	2450.425
41	1/2	22.35	X	22.35	+	21.52	21.935	X	10.00	=	219.350	0	219.350	X	1.451	318.277	1	219.350	318.277	7.239	7.239	2361.083
42	1/2	21.52	X	21.52	+	20.66	21.09	X	10.00	=	210.900	0	210.900	X	1.451	306.016	1	210.900	306.016	6.960	6.960	2270.128
43	1/2	2.41	X	2.41	+	5.5	3.955	X	0.91	=	3.599	17.35	183.749	X	1.451	266.620	1	183.749	266.620	6.064	6.064	1977.874
44	1/2	18.10	X	18.10	+		18.11	X	12.64	=	228.910	17.35	211.560	X	1.451	306.974	1	211.560	306.974	6.981	6.981	2277.232
45	1/2	18.12	X	18.12	+		18.16	X	10.00	=	181.400	0	181.400	X	1.451	263.211	1	181.400	263.211	5.986	5.986	1952.590
46	1/2	18.16	X	18.16	+		18.22	X	10.00	=	181.900	0	181.900	X	1.451	263.937	1	181.900	263.937	6.003	6.003	1957.972
47	1/2	18.22	X	18.22	+		18.26	X	10.00	=	182.400	0	182.400	X	1.451	264.662	1	182.400	264.662	6.019	6.019	1963.354
48	1/2	18.31	X	18.31	+		18.26	X	10.00	=	182.850	0	182.850	X	1.451	265.315	1	182.850	265.315	6.034	6.034	1968.197
49	1/2	18.31	X	18.31	+		18.36	X	10.00	=	183.350	0	183.350	X	1.451	266.041	1	183.350	266.041	6.051	6.051	1973.579
50	1/2	18.36	X	18.36	+		18.41	X	10.00	=	183.850	0	183.850	X	1.451	266.766	1	183.850	266.766	6.067	6.067	1978.961
51	1/2	18.41	X	18.41	+		18.45	X	10.00	=	184.300	0	184.300	X	1.451	267.419	1	184.300	267.419	6.082	6.082	1983.805
52	1/2	18.67	X	18.67	+		18.45	X	10.00	=	185.600	0	185.600	X	1.451	269.306	1	185.600	269.306	6.125	6.125	1997.798
53	1/2	18.67	X	18.67	+		18.89	X	10.00	=	187.800	17.35	170.450	X	1.451	247.323	1	170.450	247.323	5.625	5.625	1834.724
TOTAL AREA UNDER PLOTS																	53	8373.430				

PLAN FOR PROPOSED RESIDENTIAL LAYOUT KH. NO. 55,

P.H.NO.48,

MOUZA-WAGDARA

TAH.- HINGNA,

DIST. NAGPUR.

AREA STATEMENT

AREA OF LAND (AS PER)	= 15000.00 SQ.
MINIMUM AREA OF LAND (AS PER K PART)	= 15000.00 SQ
AREA\ UNDER D.P.V.R.P PROPOSALS, IF ANY	= 00.00 SQ
GROSS AREA UNDER LAYOUT	= 15000.00 SQ. (100%)
AREA UNDER OPEN SPACE	= 1500.005 SQ. (100%)
AREA UNDER AMENITY SPACE	= 1500.198 SQ. (100%)
AREA UNDER APPROACH & VEHICULAR ROAD	= 3626.367 SQ. (24.18%)
AREA UNDER SERVICE ROAD ROAD	= 00.00 SQ. (0.00%)
WIDENING, AS PER CLAUSE 24.1	
AREA UNDER RESIDENTIAL PLOTS	= 8373.43 SQ. (55.82%)
TOTAL LAND UNDER LAYOUT	15000.00 SQ. (100%)



AREA UNDER OPEN SPACE										AREA IN SQ.M.
NO.	1/2	X	SIZE	+	13.06	15.715	X	44.12	=	693.346
A	1/2	X	18.37	+	13.06	15.715	X	44.12	=	693.346
B	1/2	X	13.62	+	18.11	15.865	X	38.52	=	611.120
C	1/2	X	16.66	+	16.68	16.67	X	11.73	=	195.539
TOTAL										1500.005
AREA UNDER AMENITY SPACE										
D	1/2	X	26.69	+	23.61	25.15	X	59.65	=	1500.198
TOTAL										1500.198

NA1-NET PLOT AREA FOR LAYOUT @90% OF AREA EXCLUDING AMENITY SPACE PROPOSALS, IF ANY, & AREA FOR ROAD WIDENING AND SERVICE ROAD AS PER CLAUSE 24.1, FROM GROSS AREA UNDER LAYOUT, AS PER CLAUSE 13.4.
90%{15000.00 -1500.198}=12149.822 SQ.M.
MULTIPLYING FACTOR FOR DISTRIBUTION OF ABOVE NET PLOT AREA(FSI) ON BASIS 'X' AS PER CLAUSE 13.4.1 (iii) OF SDCPR=NA/A
=12149.822 / 8373.43=1.451

NOTE: - ADDITIONAL FSI SHOWN ABOVE IS SUBJECT TO COMPLIANCE OF CLAUSE NO. 24.10 OF SDCPR BY THE LAW



TITLE CLEAR PLOTS



TAR ROAD



GARDEN & PLAY



PLOTS DEMARCATION



FENCING



BANK FINANCE



DRAINAGE LINE



WATER PIPE LINE

NATIONWIDE FOOTPRINT



As Project Partner with  Gracelands

Oshian Realtors India Pvt Ltd., is one of the successful real estate company in Nagpur, Aurangabad, Pune & Mumbai know for its speedy selling of the projects.

Oshian Realtors incorporates proven, professional state-of-the-art techniques specializing in the marketing, listing and selling of new residential open plots layout, undeveloped land and commercial land as investment opportunities.

Oshian Realtors is a creative, innovative & people-oriented organization providing individual opportunity, personal satisfaction and rewarding challenges to all Oshian associates .

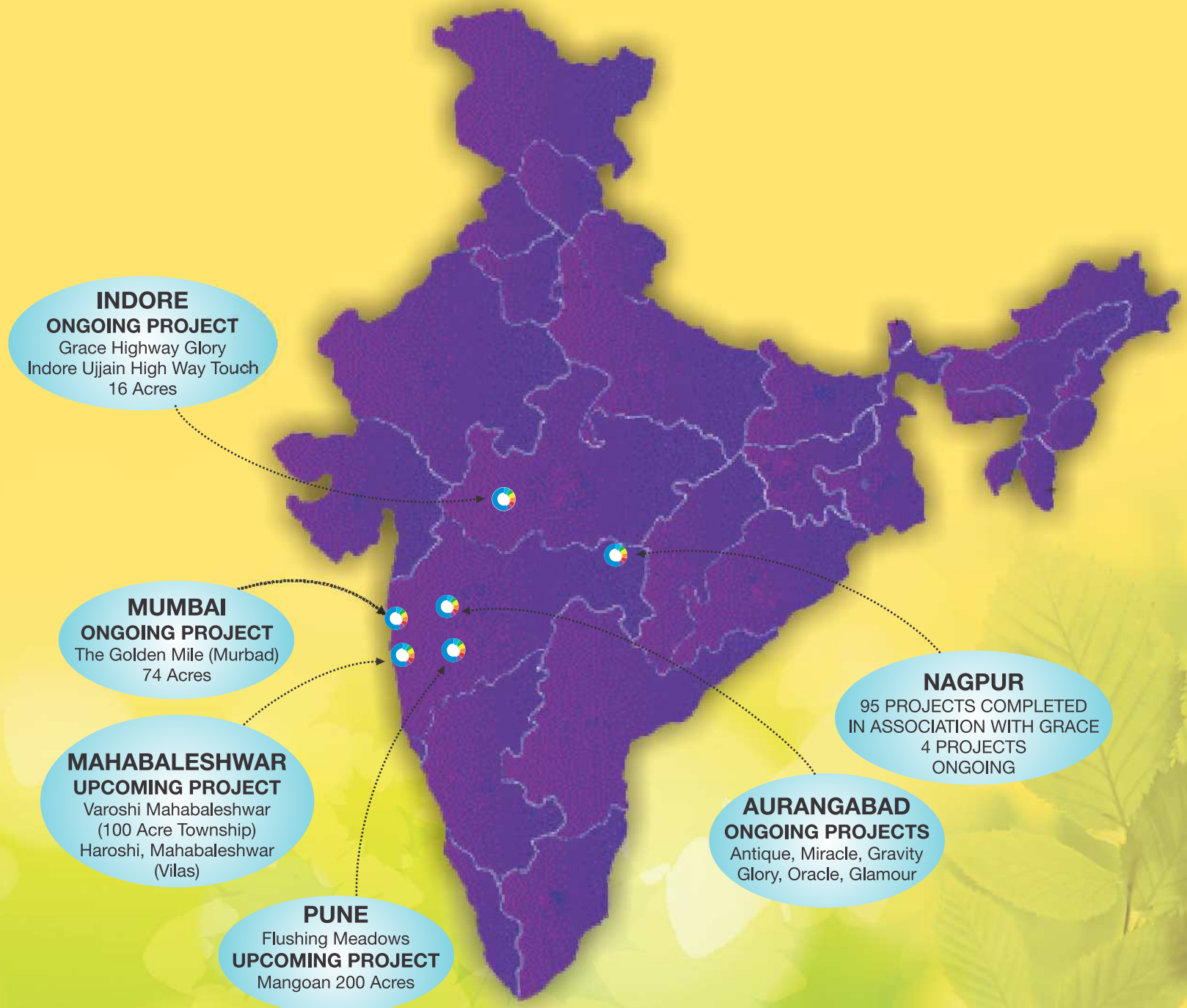
Oshian realtors launches survey based projects giving highest respect for clients vision.

Oshian realtors have completed more than 50 projects at Nagpur in association with Gracelands.

Oshian realtors firmly establishes its root in Aurangabad by completing 3 projects in year span and 3 on dashboard for sale.

Oshian Group has now entered in Mumbai with Gracelands as project partner for the project "The Golden Mile "(73 Acres) land mark project at Murbad.

Oshian group has a lifetime association with Gracelands and will be venturing into upcoming projects at Mangaon (200 acres), Mahabaleshwar (102 Acres) and more lined up at happening destinations across Maharashtra.



Air India MIHAN



Montfort School Nagpur



TCS MIHAN



Lupin Ltd. MIHAN



Vrindavan City 111 Acre Township



Empyrean City 152 Acre Township



Tech Mahindra MIHAN



SURETECH College



Location Map



- Prime location on 100 feet state highway
- Nh7 Wardha road highway - 2.4 km
- Gumgaon railway station - 1.5 kms
- Upcoming metro railway station - 1.2 kms.
- Proposed 200 feet wide Mihan-Butibori Service Road -1.5 km
- Outer Ring Road -3 kms
- Sandesh City Township 180 acre - 900 meters
- Vrindavan City 111 acre township - 0.5 km
- FDI Township the Emphyrean City 152 acre -1.6 km
- Raheja Builder 125 acre -1 km
- Mihan entrance gate- 3 kms
- TCS, Infosys, TEC Mahindra -7 minutes drive
- Educational Institutes Wainganga, St. Pallotti, Montfort School -3 to 7minutes drive
- Airport -10 minutes