



TRIMURTY APARTMENTS

Malviya Nagar, Jaipur



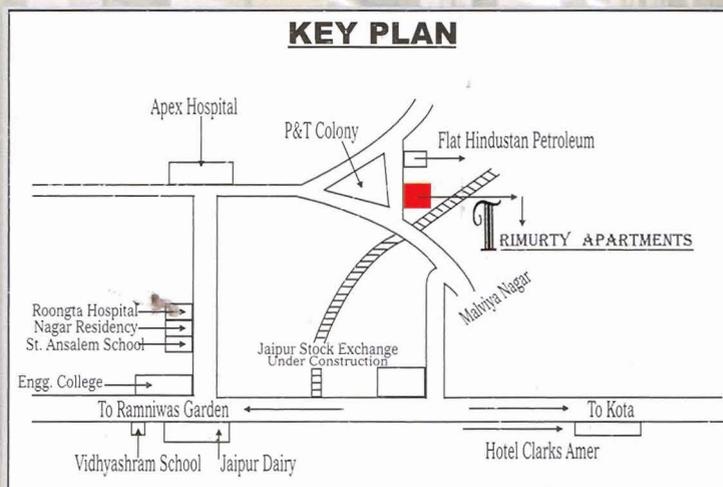
Having a warm home which suits you and is comfortable, where you and your family can live happilyis Trimurty's main aim.

Trimurty apartments at Malviya nagar, Jaipur is a perfect match to your dream home.

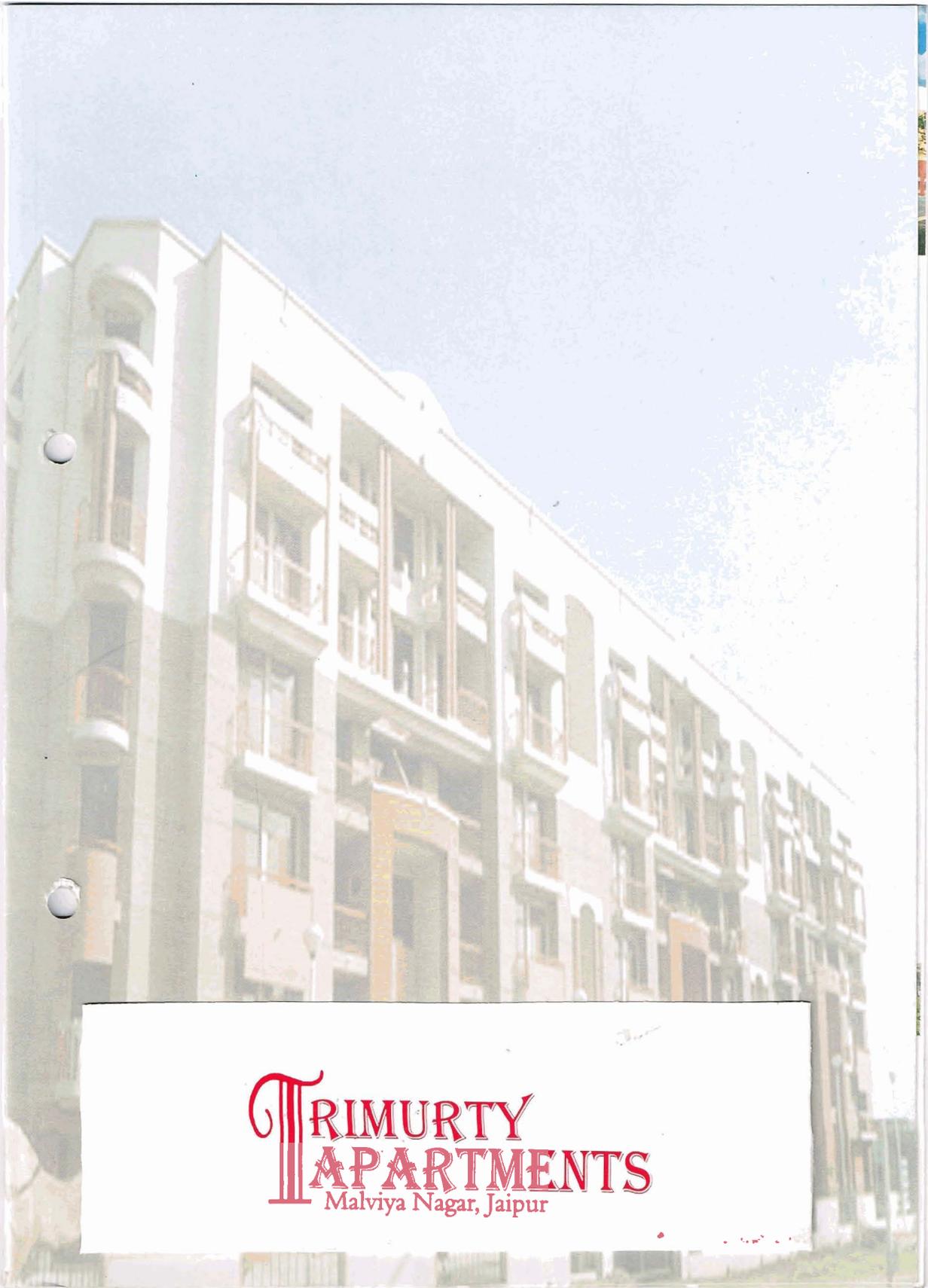
Designed and styled to be in perfect harmony with the PINK CITY; epitomizing a harmonious blend between the modern and traditional, Trimurty apartments are built with a plenty of breath taking space and international quality standards as bench mark.

Strategically located 3 Kms from airport, 1Km from nearest Railway station, more than a dozen good educational institutions, medical facilities, departmental stores, stock exchange, all in a radius of about 3 Kms.

Ready to use flats with modern amenities in a green, clean, decent locality. Not just a place to live and cherish but an ideal investment destination also.



T RIMURTY COLONIZERS & BUILDERS LTD.



TRIMURTY
APARTMENTS
Malviya Nagar, Jaipur

FEATURES

- 2/3 bedroom flats.
- Covered & opened parking.
- Surrounded by Institutional flats.
- Marble & terrazzo flooring.
- Geysers in bathrooms.
- Quality wood work.
- Fire fighting equipments.
- Permanent exterior finish.
- Round the clock security.
- Children's park.
- Decent locality.
- Concealed wiring & plumbing.
- 24 hrs. Water supply.
- Ceramic tiles in kitchen & toilet.
- Elevators.
- Master antenna.
- Servants' quarter.

**Scheme approved by HDFC, BOB Housing Finance and Abhishek Finlease Ltd.
On the table financial assistance on requirement by reputed banks and financial institutions.**

Trimurty Colonizers & Builders Ltd. is a reputed business group of Jaipur. Trimurty Enclave at Vinobha Marg, C-Scheme; Trimurty Luhadia Tower at Ashok Marg, C-Scheme which are under construction, development of an entire township near Jaipur & Trimurty Tower at Pani Petch, Jaipur are some of the projects which Trimurty Colonizers & Builders are working at.

Builders & Promoters

**TRIMURTY
COLONIZERS &
BUILDERS LTD.**

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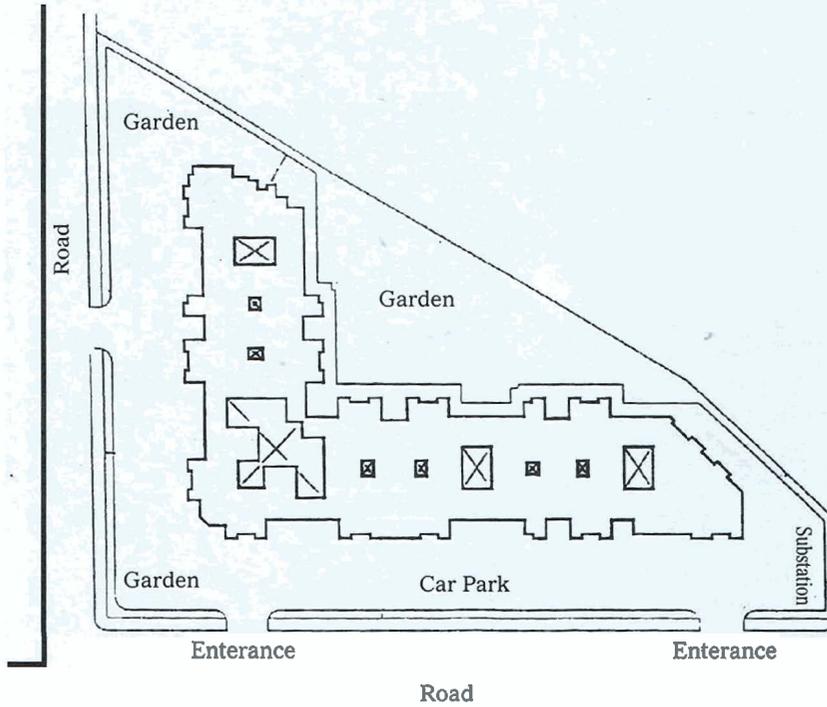
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FAX : 629959/653996
E-mail : bqmedia @ emirates.net.ae

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C-9, Maharani Bagh,
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Tel.: +91-11-6910887

TRIMURTY COLONIZERS & BUILDERS LTD.

SITE PLAN



SPECIFICATIONS OF THE BUILDING

TRIMURTY APARTMENTS

1. Foundation

Reinforced concrete footing.

2. Substructure & Superstructure

Reinforced concrete using Grade 33/Grade43 manufactured from Portland Cement complying with IS : 8112 and steel reinforcement bar complying with IS : 8112.

3. Wall

External

:Clay bricks.

Internal

:Clay Bricks.

4. Roof

Flat roof

:Reinforced concrete roof with appropriate waterproofing system.

5. Ceiling

a) Living & Dining, Bedrooms, Utility, Toilets, Kitchen and Bathrooms

:Cement sand plaster with emulsion paint.

6. Finishes

a) Internal Wall (For Apartments)

(i) Master Bathroom

:Ceramic Tiles (laid up to 7' height).

(ii) Bathroom & Kitchen.

:Ceramic Tiles.

(iii) Other areas

:Cement and sand Plaster with emulsion paint.

b) Walls (Common Areas)

(i) Internal Wall

Typical lift lobby

:Cement and sand plaster with emulsion paint and granite.

(ii) External Wall

:Cement and sand plaster with a combination of stone cladding.

c) Floor (For Apartments)

(i) Living & Dining

:High quality Marble Tiles.

(ii) Bathroom, Kitchen and Balcony

:High quality Marble Tiles.

(iii) Bedrooms

:Terrazzo Flooring

d) Floor (Common Areas)

(i) Staircase and Lobbies

:Polished Marble Tiles.

(ii) Stilts (Covered Parking)

:Cement Chequered Tiles.

7. Windows

a) Living/ Dining and Bedrooms

:Wooden Windows with shutters, finished with Spirit polish and fitted with 4 mm thick float glass.

b) Bathrooms

:Painted wooden windows with shutters with 4mm thick frosted glass with provision for exhaust fans.

SPECIFICATIONS OF THE BUILDING

c) Kithchen

: Polished window shutters with 4 mm glass with provision of exhaust fans.

8. Doors

- a) (i) Main Entrance
- (ii) Bedrooms and Bathrooms
- (iii) Kithchen
- (iv) Balcony

: Flush doors as per Indian Standards.
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: Solid core flush door confirming to Indian Standards.
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9. Sanitary Fittings

- a) Master Bathroom
 - 1 long bath with bath/shower mixer.
 - Wash basin with 1 top mixer.
 - 1 Mirror.
 - 1 towel rail.
 - 1 pedestal water closet in Master Toilet.
 - Orrisa pan W. C. in common toilet.
 - Short Body bib cock near W. C.

10. Electrical Installation

- a) Concealed electrical wiring in conduits in slabs and walls.
- b) Fan points in Drawing, Dining rooms and Bedrooms.
- c) Exhaust fan points in toilets & kitchen, geyser in toilets, door bell points, A/C Points.

11. TV/Telephone

Telephone & T. V. points in bedrooms, drawing and dining room.

12. Lightning Protection

Lightning Protection System is provided in accordance with Indian Standards.

13. Painting

- a) Internal walls : Acrylic Paint.
- b) External walls : Textured paint with brush finish.

14. Waterproofing

To kitchen, bathroom, balcony and reinforced concrete flat roof.

15. Driveway and Carpark

Chequered tiles floor in the stilt car park with light point.

16. Park

- a) Childern's park with Swings.
- b) Rest Area.
- c) Garden and whole premises is surrounded by beautiful trees.

17. Soil Tratment

Anti-termite soil treatment by specialist.

18. Lifts:

4 OTIS lifts with 5 passengers capacity with swing doors.

19. Other Items

- a) Kitchen Cabinets : Built-in low kitchen cabinets with green marble platform, sink and provision for geyser and loft.
- b) Individual mail boxes.

FLAT DETAILS

BLOCK - A

FT. NO. & Area	FT. NO. & Area	FT. NO. & Area	FT. NO. & Area	FT. NO. & Area	FT. NO. & Area
A-101 2B/R 1194.20 Sq. Ft.	A-102 3B/R 1374.70 Sq. Ft.	A-103* 2B/R 1277.94 Sq. Ft.	A-104 2B/R 1194.20 Sq. Ft.	A-201 2B/R 1194.20 Sq. Ft.	A-202 3B/R 1374.70 Sq. Ft.
A-203* 2B/R 1277.94 Sq. Ft.	A-204 2B/R 1194.20 Sq. Ft.	A-301 2B/R 1194.20 Sq. Ft.	A-302** 3B/R 2552.64 Sq. Ft. Booked.	A-304 2B/R 1194.20 Sq. Ft.	A-401 2B/R 1208.32 Sq. Ft. Booked.
A-402 3B/R 1401.76 Sq. Ft. Booked	A-403* 2 B/R 1373.84 Sq. Ft.	A-404 2 B/R 1208.32 Sq. Ft. Booked	A-501 2B/R 1208.32 Sq. Ft. Booked.	A-502 3B/R 1401.76 Sq. Ft.	A-503 2B/R 1373.82 Sq. Ft.
A-504 2 B/R 1208.32 Sq. Ft.					

BLOCK - B

FT. NO. & Area	FT. NO. & Area	FT. NO. & Area	FT. NO. & Area	FT. NO. & Area	FT. NO. & Area
B-101 2 B/R 1188.09 Sq. Ft. Booked	B-102 3 B/R 1434.28 Sq. Ft. Booked	B-103 3 B/R 1354.98 Sq. Ft.	B-104 3 B/R 1380.60 Sq. Ft. Booked	B-105 3 B/R 1434.28 Sq. Ft. Booked	B-106 3 B/R 1354.98 Sq. Ft.
B-201 2 B/R 1188.09 Sq. Ft. Booked	B-202 3 B/R 1434.28 Sq. Ft. Booked	B-203 3 B/R 1354.98 Sq. Ft.	B-204 3 B/R 1380.60 Sq. Ft. Booked	B-205 3 B/R 1434.28 Sq. Ft. Booked	B-206 3 B/R 1354.98 Sq. Ft.
B-301 2 B/R 1188.09 Sq. Ft. Booked	B-302 3 B/R 1434.28 Sq. Ft. Booked	B-303 3 B/R 1354.98 Sq. Ft.	B-304 3 B/R 1380.60 Sq. Ft. Booked	B-305 3 B/R 1434.28 Sq. Ft. Booked	B-306 3 B/R 1354.98 Sq. Ft.
B-401 2 B/R 1223.66 Sq. Ft. Booked	B-402 3 B/R 1485.62 Sq. Ft. Booked	B-403 3 B/R 1385.32 Sq. Ft.	B-404 3 B/R 1459.66 Sq. Ft. Booked	B-405 3 B/R 1485.62 Sq. Ft. Booked	B-406 3 B/R 1385.66 Sq. Ft.
B-501 2 B/R 1223.66 Sq. Ft. Booked	B-502 3 B/R 1485.62 Sq. Ft.	B-503 3 B/R 1385.32 Sq. Ft.	B-504 3 B/R 1459.66 Sq. Ft. Booked	B-505 3 B/R 1485.62 Sq. Ft.	B-506 3 B/R 1385.56 Sq. Ft.

FLAT DETAILS

BLOCK - C

| FT. NO. & Area |
|--|--|--|--|--|---|
| C-101
2B/R
1166.23Sq. Ft.
Booked | C-102
3B/R
1431.98Sq. Ft.
Booked | C-103
3B/R
1431.98Sq. Ft. | C-104
2B/R
1166.23Sq. Ft.
Booked | C-201
2B/R
1166.23Sq. Ft.
Booked | C-202*
3B/R
1431.98 Sq. Ft.
Booked |
| C-203
3B/R
1431.98 Sq. Ft.
Booked | C-204
2B/R
1166.23 Sq. Ft.
Booked | C-301
2B/R
1166.23 Sq. Ft.
Booked | C-302
3B/R
1432.00 Sq. Ft.
Booked | C-303
3B/R
1432.00 Sq. Ft.
Booked | C-304
2B/R
1166.23 Sq. Ft.
Booked |
| C-401
2B/R
1207.14 Sq. Ft.
Booked | C-402
3B/R
1465.56 Sq. Ft.
Booked | C-403
3B/R
1465.56 Sq. Ft.
Booked | C-404
2B/R
1207.14 Sq. Ft.
Booked | C-501
2B/R
1207.14 Sq. Ft.
Booked | C-502
3B/R
1465.56 Sq. Ft.
Booked |
| C-503
3B/R
1465.56 Sq. Ft.
Booked | C-504
2B/R
1207.14 Sq. Ft.
Booked | | | | |

BLOCK - D

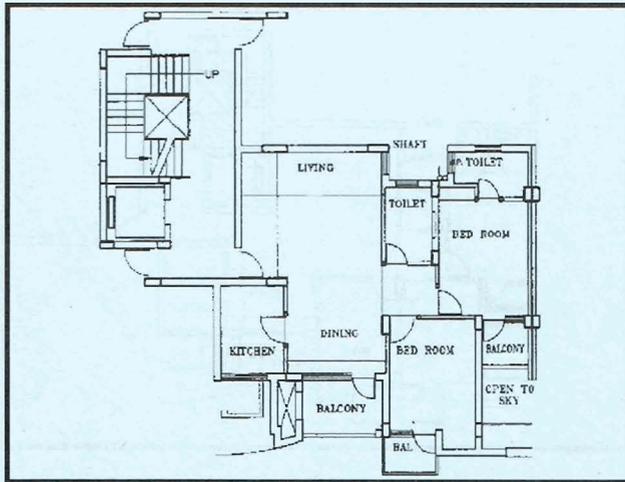
FT. NO. & Area	FT. NO. & Area	FT. NO. & Area	FT. NO. & Area	FT. NO. & Area	FT. NO. & Area
D-101** 3 B/R 2301.00 Sq. Ft. Booked	D-102 3 B/R 1418.36 Sq. Ft. Booked	D-103 3 B/R 1400.30 Sq. Ft. Booked	D-201* 2 B/R 1226.00 Sq. Ft. Booked	D-202 3 B/R 1418.36 Sq. Ft.	D-203 3 B/R 1401.00 Sq. Ft. Booked
D-204 2 B/R 1075.00 Sq. Ft. Booked	D-301* 2 B/R 1226 Sq. Ft. Booked	D-302 3 B/R 1418.36 Sq. Ft. Booked	D-303 3 B/R 1400.66 Sq. Ft.	D-304 2 B/R 1074.98 Sq. Ft. Booked	D-401 3 B/R 2383.60 Sq. Ft.
D-402 3 B/R 1445.50 Sq. Ft. Booked	D-403 3 B/R 1452.58 Sq. Ft. Booked	D-501** 3 B/R 2384.60 Sq. Ft. Booked	D-502 3 B/R 1445.50 Sq. Ft. Booked	D-503 3 B/R 1452.58 Sq. Ft.	

** Flat with Servant's Quarter & Store.

* Flat with Store.

TYPICAL FLAT PLAN

2 bedroom : 1200 sq. ft.(approx.)



2 bedroom apartment with drawing & dining, spacious kitchen, attached bathrooms and balconies.

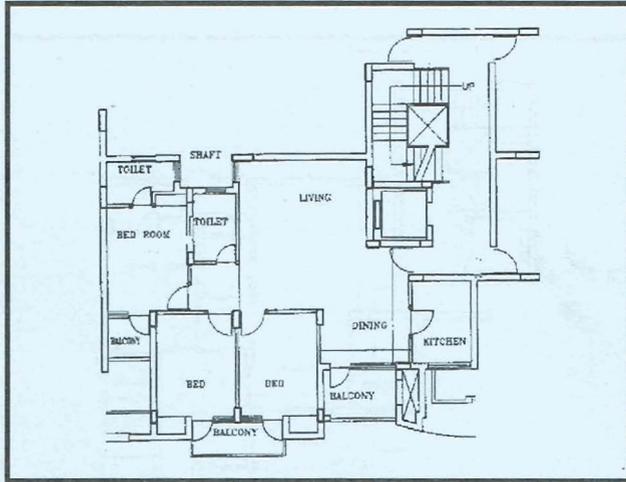
No. of floors : Stilt + Ground + 4 Floors
Total No. of flats on each floor : 18

18% Super built-up included

Areas, sizes & specifications mentioned are approximate and subject to change.

TYPICAL FLAT PLAN

3 bedroom : 1400 sq. ft.(approx.)



3 bedroom apartment with drawing & dining, spacious kitchen, attached bathrooms and balconies.

No. of floors : Stilt + Ground + 4 Floors
Total No. of flats on each floor : 18

18% Super built-up included

Areas, sizes & specifications mentioned are approximate and subject to change.