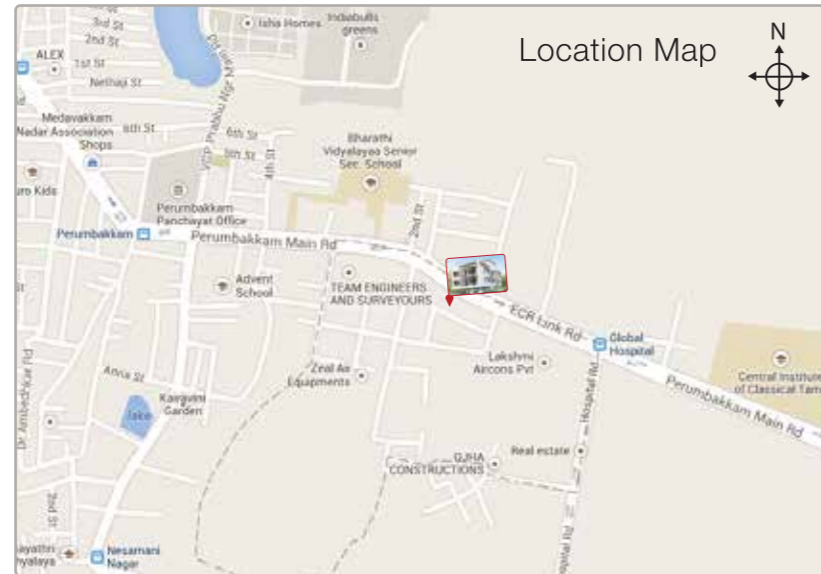


**SM Narayana** is a newly launched project with luxury 6 life style apartments with 2/3 BHK type and it is located near Sholinganallur, at Kailash Nagar, Perumbakkam.

SM Narayana is situated just 50 mts from Medavakkam – Shollinganallur main road. It is stone throw away distance from Global Hospital.



### Location Advantages CONNECTIVITY

#### PLACES

Sholinganallur Junction : 3 Km  
 Medavakkam Junction : 2.7 Km  
 Velachery : 10.5 Km  
 Tambaram : 10.5 Km  
 Pallikaranai : 7.5 Km  
 Tambaram Railway Stn : 10 Km  
 Meenambakkam Airport : 14.5 Km

#### IT HUBS

Infosys , Sholinganallur : 5 Km  
 Accenture , Sholinganallur : 4.0 Km  
 Wipro, Sez Avenue : 2.8 Km  
 Hcl, Sez Avenue : 2.8 Km  
 Siruseri : 13 Km  
 Chennaione Campus : 9 Km  
 Tidel Park, Taramani : 14 Km  
 Ascendas,taramani : 13.5 Km

#### EDUCATIONAL INSTITUTIONS

Bharati Vidyalaya Sr.sec.school : 0.3 Km  
 St. John Public School : 1.8 Km  
 Sathya Bama University : 7 Km  
 Jerusalem Engg. College, Pallikaranai : 7 Km  
 Tamabaram Mcc College : 10 Km

#### HOSPITALS

Global Hospital : 1 Km  
 Kamatchi Hospital , Pallikaranai : 7 Km  
 Balaji Dental Hospital , Pallikaranai : 7 Km

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#### Disclaimer :

The Company reserves the right to make alterations and amendments as maybe necessitated from time to time without prior notice.



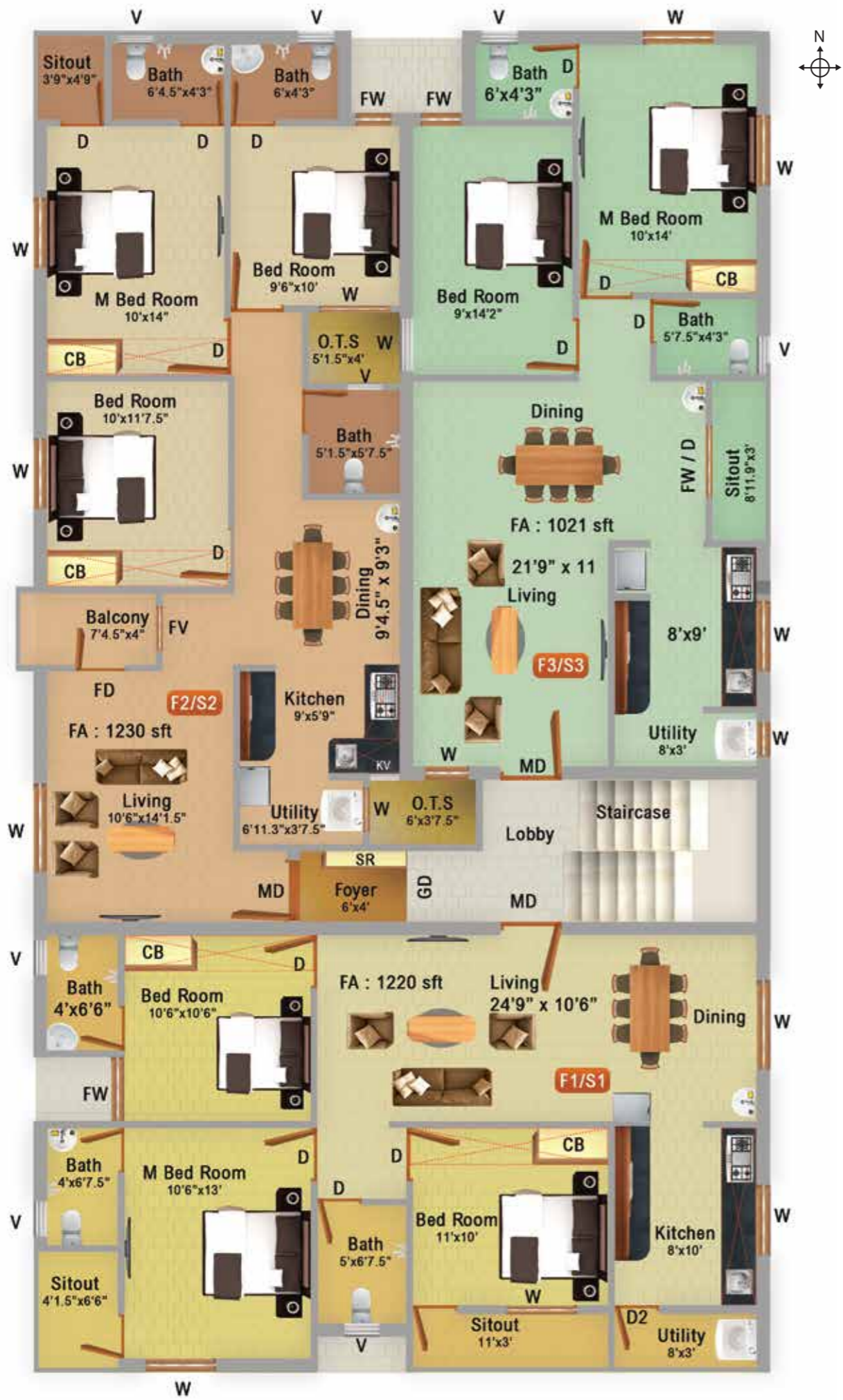
# SM NARAYANA

A SM Promoters & SSM Housing initiative



Site Address : Plot No.19, Kailash Nagar,  
 Perumbakkam, Chennai-600 100.





Typical Floor Plan (1<sup>st</sup> & 2<sup>nd</sup> Floor)



PAYMENT SCHEDULE		
Sl.No.	Percentage	Stages of Work
1.	20%	While entering into Agreement
2.	10%	When Foundation work commenced
3.	30%	While Registration of UDS of Land / Plot
4.	10%	When RCC roof slab of Stilt Floor / GF of house is laid
5.	10%	When RCC roof slab of respective Floor is laid
6.	10%	When Brick Work in respective Flat / House is commenced
7.	5%	When Painting Work in respective Flat / house is commenced
8.	5%	When Flooring in respective Flat / house is commenced

### FLAT DETAILS

Flat No	Built Up Area Sq.Ft.	Flat Area Sq.Ft.	UDS Sq.Ft.	Rooms	Main Door Facing
F1	1017	1220	633	3 BHK	North
F2	1025	1230	638	3 BHK	East
F3	851	1021	529	2 BHK	South
S1	1017	1220	633	3 BHK	North
S2	1025	1230	638	3 BHK	East
S3	851	1021	529	2 BHK	South

# SPECIFICATIONS

## STRUCTURE



R.C.C. framed structure with RCC columns, beams and slabs.  
 Brick Masonary walls with Plastering in CM  
 EARTH QUAKE resistant design as per STRUCTURAL CONSULTANT.  
 COLOUR and ELEVATION DESIGNS as per ARCHITECT'S approval.  
 It's subject to change as per ARCHITECT'S suggestion.

## JOINERIES

### DOORS



MAIN ENTRANCE door size 3'6"x7'0" including frame thickness.  
 Door shall be provided with First Class Teak Wood frame and Shutter with Godrej Night Latch or Mortise Lock, brass hinges and Lacquered brass handle and Eye Piece.  
 All other doors size 3'0"x7'0" including frame thickness .  
 Door shall be provided with 2nd Quality teak wood frames and flush shutters.  
 Bath room doors size 2'6"x7'0" including frame thickness .  
 Door shall be provided with 2nd quality Teak wood frames and flush shutters with inside film coated.  
 Service/Utility doors size 2'6"x7'0" including frame thickness.  
 Door shall be provided with 2nd quality Teak wood frames and flush shutters.

### WINDOWS

Powder Coated Aluminium Openable/Sliding Windows with Glazing and Grills .

### French Window/Door

French Window/Door shall be provided in Hall cum Dining as per Drawing

### VENTILATORS

Aluminium Frame with louver arrangements.  
 MS grill shall be provided at outside of ventilators.

### FLOORING

**Living/Dining/Bedroom and Passage in between Rooms**  
 2'x2' size vitrified tiles of standard brands (Basic cost of tiles at Rs. 45/- per sqft)

### KITCHEN



Kitchen flooring shall be provided with 2'x2' vitrified tiles of standard Brands (Basic cost of tile at Rs. 45/- per sqft)  
 Kitchen platform slab top height is 80 cm from floor finished level including Granite top, Granite top 2'0" width including Nose Shape at front. (Basic cost of Granite at Rs. 110/- per sqft)  
 Dado up to 2'6" height above the plat form ( Basic cost of ceramic tile at Rs.30/- per sqft.  
 Stainless steel kitchen sink shall be provided without drain board.  
 Loft for a wide of 2' shall be provided as per drawings.  
 Suitable openings for exhaust fan will be provided.  
 Separate pipe lines to sink shall be provided for Bore water and sump water.

### Service/Utility Area

Ceramic tiles shall be provided up to sill level of window.  
 Anti-skid ceramic tiles flooring (At basic cost of tile Rs.35/-per sqft)

### Toilets



Anti-skid ceramic tiles flooring (At basic cost of tile Rs.35/-per sqft)  
 Ceramic tile dado for about 7'0" height from floor (Basic cost of tile at Rs.35/-sqft)  
 Suitable openings for exhaust fan shall be provided.

## SANITARY WARES & FIXTURES

### Ewc & IWC

EWC shall be provided in attached Bedroom Toilet with Cera/Hindware or Eq. brand  
 EWC/IWC shall be provided in Common Toilets with Cera/ Hindware or Eq. brand

### Wash Basin

Regular Wash basin shall be provided in Dining and Master Bedroom Toilet, Corner Wash basin shall be provided in Second attached Toilet with Cera/Hindware or Eq. brand

## PLUMBING

### Sump

One SUMP of adequate capacity for receiving Metro/Panchayat water as and when CMWSSB / PANCHAYAT water supply becomes available to the complex.

### Over Head Tank



One OVER HEAD TANK of adequate capacity shall have two compartments with provision for pumping water from captive source (bore well) or water from the ground sump.

### Kitchen Sink



A Tap in the kitchen for Metro/ Panchayat water supply from over head tank.  
 Taps shall be provided to supply Ground water (borewater)/Sump water to kitchen through over head tank.

### Bath Rooms



2 way Tap connections shall be provided in bathrooms with hygiene faucet with Overhead shower & Hot and cold water provision.  
 Concealed plumbing arrangements, with CPVC pipe line for hot water pipe line.  
 For All Internal plumbing line CPVC pipes and for External plumbing lines UPVC pipes are used.

### ELECTRICAL

3 Phase Electric supply connection with change over facility  
 Concealed copper wiring.  
 Provision of ELECTRICAL points as listed in the table below...

## PAINTING

**Internal** ALL INTERNAL WALLS shall be applied with Acrylic Putty to have smooth surface and finally finished with one coat of acrylic primer and 2 coats of TRACTOR EMULSION paint

**External** The EXTERNAL WALLS of the apartment shall be initially applied with 2 coats of white cement and finally finished with 2 coats of weather proof EXTERIOR EMULSION

**Doors** Doors other than Entrance Main door & Window with enamel paint.  
Entrance Main door with varnish ( sealer finish/Melamine finish)

**Grills** M.S. Grills with two coats of enamel paint for windows and ventilators.

## WARDROBES

Wardrobes/Cupboards in the rooms shall be provided as per drawings with Both sides polished Black Coloured Cudappa slabs without shutters. (If additional wardrobes /cupboards, showcases, shelves & shutters are required will be charged extra.)

## LOFT

Loft for a width of 2' shall be provided in Bed rooms as per drawings.

## STAIR CASE

**Flooring** Steps and landing will be provided with Granite (Basic cost of Granite at Rs.70/- per sqft)

**Railing** Hand railing will be provided with MS Grill.

## COMPOUND WALL

**Gates** Compound wall will be provided along the boundaries of the premises (only, when the premises is open from the other side), with M.S. gate as per the design and drawings.

**Ramp** Paved driveway/Ramp will be provided as per the drawings.

## PROVISION OF ELECTRICAL POINTS

**ENTRANCE** One Bell point and One Light point (2 way).

**DRAWING** One TV point, One Telephone point, Two Light points in walls.  
One Fan point, Provision for hanging chandelier electrical point.  
Three 5A pin points.

### DINING



Two light points in wall, One Fan point.  
One 15 A for Fridge. One 5 A pin point at suitable places.  
One light point & One 5 A Pin point over dining wash basin.

### MASTER BED ROOM



Two Light points in wall, Fan Points at suitable location.  
Two 5 A pin points, one 20 A point for A/C.  
One TV point and one Telephone point.  
One point provision for foot lamp.

### OTHER BED ROOMS

Two light points in wall, One Fan point at suitable location.  
One 5 A pin point. One 20 A point for A/C.

### KITCHEN



One Light point in wall. One Fan & exhaust fan points.  
Three 5 A pin point for Mixer, Grinder and Chimney.  
Two 15 A point for Water Purifier & Micro oven.

### ATTACHED TOILETS

One Light point.  
One 5 A pin point for Exhaust fan, One 15 A point for Geyser.

### COMMON TOILET & OUTSIDE WASH BASIN

One Light point.  
One 5 A pin point for Exhaust fan, One 15 A point for Geyser.

### KITCHEN SERVICE AREA

One Light point.  
One 15 A point for Washing machine.

### COMMON POINTS

Common light point in stairs & terrace.  
Two light points in compound wall.  
Two point for Pump/Motor sets as per promoter's choice.

### SWITCHES & WIRES

All switches shall be of modular type of Anchor Roma or equivalent brand.  
All Electrical wires shall be of Polycab Make or equivalent brand.

NOTE: Any additions or Alterations required over the above provisions shall be provided at EXTRA COST. Balcony safety grills over 2.5 Feet shall be provided at extra cost.

## SPECIAL AMENITIES

- ◆ BUILDING Elevation is as per the ARCHITECT'S design.
- ◆ Flat OWNER'S Name Plate shall be provided at the entrance of the APARTMENT
- ◆ Separate electric meters for all Flats in the Main board, a Separate common electric meter for common service and sub main board (DB box) in each flat for quick isolation of supply.
- ◆ Water proofing to all toilets by brick bat coba.
- ◆ Inverter wiring provided for individual flats.
- ◆ Water storages shall be water proofed.
- ◆ Covered parking space for vehicles with common water tap.
- ◆ Rain water harvesting Etc.
- ◆ PEST control treatment in THREE stages.
- ◆ Safety/Coverings will be provided for Borewell Motor.
- ◆ Fixed supports for drying clothes in Terrace shall be provided.
- ◆ Common association room in the stilt floor